

# AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
**FEBRUARY 27, 2024** IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) **CALL TO ORDER**

(II) **OPEN FORUM**

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) **CONSENT AGENDA**

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of minutes for the February 13, 2024 Planning and Zoning Commission meeting.

(2) **P2024-005 (HENRY LEE)**

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Replat for Lot 10, Block A, Dalton Goliad Addition being a 1.93-acre tract of land identified as Lots 8 & 9, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

(IV) **ACTION ITEMS**

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(3) **MIS2024-003 (HENRY LEE)**

Discuss and consider a request by Tommy Burns for the approval of a Miscellaneous Case for a Variance to allow artificial or synthetic plant materials on a 0.23-acre parcel of land identified as Lot 8, Block N, Northshore #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 320 Shepards Hill Drive, and take any action necessary.

(V) **DISCUSSION ITEMS**

*These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is February 13, 2024.*

(4) **Z2024-006 (RYAN MILLER)**

Hold a public hearing to discuss and consider a Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified Development Code (UDC) and to establish Chapter 13, Rental Housing, of the Municipal Code of Ordinances for the purpose of creating requirements for Short-Term Rentals, and take any action necessary.

(5) **Z2024-008 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Marisol Ortiz on behalf of Ricardo Alonso for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.121-acre parcel of land identified as Lot 49 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street, and take any action necessary.

(6) **Z2024-009 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Harold Fetty of H. D. Fetty Land Surveyor, LLC on behalf of Antonio Borjas for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District and a Light Industrial (LI) District for a 9.4411-acre tract of land identified as Tract 3-4 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall, Texas, zoned Agricultural (AG) District, situated in the SH-276 Overlay (SH-276 OV) District, addressed 172 Zollner Road, and take any action necessary.

(7) **P2024-006 (HENRY LEE)**

Discuss and consider a request by Brad Boswell and Asher Hamilton of RIV Properties for the approval of a Final Plat of Lots 1, 2 & 3, Block A, George Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

(8) **SP2024-003 (ANGELICA GUEVARA)**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kevin Lloyd of 1800 Dalrock, LLC for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail, and take any action necessary.

(9) **SP2024-004 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

(10) **SP2024-005 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive, and take any action necessary.

(11) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2024-001: Final Plat for Phase 1 of the Peachtree Meadows Subdivision **(APPROVED)**
- P2024-002: Final Plat for Lots 1 & 2, Block A, Cruse Addition **(APPROVED)**
- P2024-003: Preliminary Plat for Phase 2 of the Terracina Estates Subdivision **(APPROVED)**
- Z2024-001: Amendment to Planned Development District 2 (PD-2) **(1<sup>ST</sup> READING; APPROVED)**
- Z2024-002: Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* for 715 Sherman Street **(1<sup>ST</sup> READING; APPROVED)**
- Z2024-003: PD Development Plan and Amendment to Planned Development District 74 (PD-74) **(POSTPONED TO THE MARCH 18, 2024 CITY COUNCIL MEETING)**
- Z2024-004: Specific Use Permit (SUP) for an *Accessory Building and Carport* at 9 Crestview Circle **(1<sup>ST</sup> READING; APPROVED)**

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 23, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
FEBRUARY 13, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:**[1]ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

8 Chairman Deckard called the meeting to order at 6:00 PM. Commissioners present were Vice-Chairman John Womble, Dr Jean Conway, Jay Odum  
9 and Brian Llewelyn. Commissioners absent were Ross Hustings and Kyle Thompson. Staff members present were Director of Planning and Zoning  
10 Ryan Miller, Senior Planner Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams,  
11 Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price. Absent from the meeting was Planner Bethany Ross.

## II. OPEN FORUM

13 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
14 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
15 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
16 *Act.*

19 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being  
20 no one indicating such, Chairman Deckard closed the open forum.

23 **Ryan Joyce**  
24 767 Justin Rd  
25 Rockwall, TX

27 Mr. Joyce came forward and announced Rockwall County 4-H happening on March 23<sup>rd</sup> and March 24<sup>th</sup>.

29 Chairman Deckard asked if anyone who wished to speak to come forward at this time; there being no one indicating such, Chairman Deckard closed  
30 the open forum.

## III. CONSENT AGENDA

33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
34 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

### 1. Approval of minutes for the January 30, 2024 Planning and Zoning Commission meeting.

### 2. P2024-001 (HENRY LEE)

40 Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a *Final*  
41 *Plat* for Phase 1 of the Peachtree Meadows Subdivision consisting of 148 single-family residential lots on a 45.95-acre tract of land identified as Tract 5 of the  
42 J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*]  
43 for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive,  
44 and take any action necessary.

### 3. P2024-002 (ANGELICA GUEVARA)

46 Discuss and consider a request by Robert Cruse for the approval of a *Final Plat* for Lots 1 & 2, Block A, Cruse Addition being a 0.2410-acre tract of land  
47 identified as Lot 5, Block F, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 12 (PD-12) [*Ordinance No. 06-*  
48 *46*], located at the northeast corner of S. Alamo Street and W. Ross Street, and take any action necessary.

### 4. P2024-003 (HENRY LEE)

52 Discuss and consider a request by Chuck Lamping of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes, LP for the approval  
53 of a *Preliminary Plat* for Phase 2 of the Terracina Estates Subdivision consisting of 94 single-family residential lots on a 31.331-acre tract of land identified as  
54 Tract 16 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 82 (PD-82) [*Ordinance*  
55 *No. 18-08*] for Single-Family 10 (SF-10) District land uses, generally located at the terminus of Guadalupe Drive, Mesa Verde Drive and Oakcrest Drive, and  
56 take any action necessary.

### 5. SP2024-001 (HENRY LEE)

59 Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a *Site*  
60 *Plan* for Phase 1 of the Peachtree Meadows Subdivision consisting of 148 single-family residential lots on a 45.95-acre tract of land identified as Tract 5 of the  
61 J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*]  
62 for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive,  
63 and take any action necessary.

64 Vice-Chairman Womble made a motion to approve Consent Agenda. Commissioner Conway seconded the motion which passed by a vote of 5-2.  
65 With commissioner Thompson and Commissioner Hustings absent.

66  
67 IV. PUBLIC HEARING ITEMS

68  
69 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*  
70 *submit a [Request to Address the Planning and Zoning Commission](#) (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*  
71 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*  
72 *to three (3) minutes out of respect for the time of other citizens.*  
73

74 6. Z2024-001 (RYAN MILLER)

75 Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District  
76 2 (PD-2) [*Ordinance No.'s 72-02, 73-33, 80-19, 84-53, 85-16, 86-28, 92-08, 92-23, 96-06, 96-24 & 99-46*] for the purpose of consolidating the regulating  
77 ordinances for a 171.135-acre tract of land situated within the M. J. Barksdale Survey, Abstract No. 11; W. Blevins Survey, Abstract No. 9; and, E. P. G. Chisum  
78 Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2), generally located north of IH-30 and west  
79 of Ridge Road [*FM-740*], and take any action necessary.

80  
81 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. As of June, of last year City Council directed staff  
82 to begin the process of writing consolidating ordinances for the City's older planned development districts. The Planned Development Districts staff  
83 are looking at are the ones that have multiple ordinances. Through the years the process for amending these ordinances would be too stack on top  
84 of one another. The reason behind this is to write one consolidating ordinance that can be easier to understand and read. Planned Development  
85 District 2 (PD-2) originally established prior to 1972. Currently has 11 regulating ordinances with 56 pages of regulations. There is also a number of  
86 development cases associated with this. It can be broken up into four (4) different areas. That being two (2) areas of Turtle Cove and three (3) areas  
87 of Lakeside Village Subdivision. The new ordinance takes the 11 regulating ordinances and 56 pages and summarizes it into as couple pages. It also  
88 provides charts making it easier to understand what the zoning requirements are. This being a zoning case staff had to mail out notices to property  
89 owners and occupants within 500 feet of the subject property. As of right now staff has received seven (7) notices. Five (5) were in favor and two (2)  
90 were opposed.

91  
92 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
93 such, Chairman Deckard closed the public hearing and brought the item back to the commission for discussion or action.

94  
95 Commissioner Odom made a motion to approve Z2024-001. Vice-Chairman Womble seconded the motion which passed by a vote of 5-0.

96  
97 7. Z2024-002 (ANGELICA GUEVARA)

98 Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital, LLC for the  
99 approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit on a 0.22-acre parcel of land identified as Lot C, Block 112, B. F. Boydston  
100 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Single-Family 7 (SF-7) District, situated within the  
101 Southside Residential Neighborhood Overlay (SRO) District, addressed as 715 Sherman Street, and take any action necessary.

102  
103 Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting an approval of a Specific Use  
104 Permit (SUP) to construct a 591.5 SF guest quarters/ secondary living unit on the subject property. The proposed structure will be clad in Hardie  
105 board, have a composite shingle roof, and be situated on a concrete foundation. According to the UDC, the structure must be ancillary to a single-  
106 family home, the square footage shall not exceed 30% of the primary structure, and structure may not be sold or conveyed separately from the single-  
107 family home. In this case, the applicant is permitted by right an 813.60 SF guest quarters/secondary living unit. With that being said the applicant is  
108 requesting a 591.5 SF guest quarters/ secondary living unit, which represents 21.81% of the primary structure. This is approximately 8.19% less than  
109 what is allowed by right. The proposed building meets all the requirements for a guest quarters/ secondary living unit. On January 23, 2024 staff  
110 mailed out 67 notices to property owners and occupants within 500-feet of the subject property. At this time staff has received one (1) notice in favor  
111 of the request.

112  
113 Ruben Fragoso  
114 1321 Crescent Cove Dr  
115 Rockwall, TX 75087

116  
117 Mr. Fragoso came forward and provided additional details in regards to his request.

118  
119 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
120 such, Chairman Deckard closed the public hearing and brought the item back to the commission for discussion or action.

121  
122 Vice-Chairman Womble made a motion to approve Z2024-002. Commissioner Llewelyn seconded the motion which passed by a vote of 5-0.

123  
124 8. Z2024-003 (RYAN MILLER)

125 Hold a public hearing to discuss and consider a request by Michael Twichell of Michael F. Twichell, LP on behalf of Jim Duggan of NEC John King & 552, LP  
126 for the approval of a Zoning Change and PD Development Plan amending Planned Development District 74 (PD-74) [*Ordinance No. 17-60*] being a 17.3750-  
127 acre portion of a larger 405.184-acre Planned Development District situated within the J. Strickland Survey, Abstract No. 187; T. R. Bailey Survey, Abstract  
128 No. 30; and, J. Simmons Survey, Abstract No. 190, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for limited  
129 General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (BY-OV) District, generally located at the northeast corner of the intersection  
130 of John King Boulevard and FM-552, and take any action necessary.

132 Chairman Deckard advised that the applicant has requested to postpone to the March 12<sup>th</sup> meeting.

133  
134 Chairman Deckard brought the item back for commission for discussion or action.

135  
136 Commissioner Llewelyn made a motion to approve the request to table case Z2024-003. Commissioner Odom seconded the motion which passed  
137 by a vote of 5-0.

138

139 9. Z2024-004 (HENRY LEE)

140 Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport  
141 on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16  
142 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

143

144 Senior Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a Specific Use permit (SUP) for an  
145 accessory building and carport. The applicant had started construction without obtaining building permits. A stop work order was issued on  
146 December 6, 2023. On December 14<sup>th</sup> the property owner had applied for the residential building permit for these improvements, however on  
147 December 15<sup>th</sup> staff did do a follow up and noticed that work had continued on the property. On January 16<sup>th</sup> the work appeared to be completed  
148 from the areal and there was still equipment on the rear yard of the property. On January 19, 2024 the applicant did apply for their Specific Use Permit  
149 (SUP). If this case gets approved the applicant will have to submit building permits within 90 days of the SUP approval. Staff did mail out 17 notices  
150 to property owners and occupants within 500 feet of the subject property. Staff has received three (3) notices in favor at this time.

151

152 Chairman Deckard asked how it would be able to get inspected.

153

154 Zach Butler  
155 9 Crestview Circle  
156 Rockwall, TX 75087

157

158 Mr. Butler came forward and provided additional details in regards to the request.

159

160 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
161 such, Chairman Deckard closed the public hearing and brought the item back for commission for discussion or action.

162

163 Commissioner Llewelyn made a motion to approve Z2024-004. Chairman Deckard seconded the motion which passed by a vote of 4-1.

164

165 10. Z2024-005 (RYAN MILLER) **[THE APPLICANT IS REQUESTING TO WITHDRAW THIS CASE]**

166 Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of Ronald P. Berlin of Rockwall 549/I-30 Partners, LP  
167 and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C)  
168 District land uses on a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of  
169 Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest  
170 corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

171

172 Chairman Deckard advised that the applicant has requested to withdraw the case.

173

174 Vice-Chairman Womble made a motion to approve the request to withdraw case Z2024-005. Commissioner Conway seconded the motion which  
175 passed by a vote of 5-0.

176

177 V. DISCUSSION ITEMS

178

179 11. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

180

- 181 • P2024-004: Replat for Lots 14-18, Block A, Creekside Commons Addition (APPROVED)

182

183 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

184

185 VI. ADJOURNMENT

186

187 Chairman Deckard adjourned the meeting at 6:45PM

188

189 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
190 \_\_\_\_\_, 2024.

191

192

193

\_\_\_\_\_  
Derek Deckard, Chairman

194

Attest:

195

\_\_\_\_\_  
Melanie Zavala, Planning Coordinator

196

197



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** February 27, 2024  
**APPLICANT:** Juan Vasquez; *Vasquez Engineering*  
**CASE NUMBER:** P2024-005; *Replat for Lot 10, Block A, Dalton Goliad Addition*

---

### SUMMARY

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Replat for Lot 10, Block A, Dalton Goliad Addition being a 1.93-acre tract of land identified as Lots 8 & 9, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting approval of a Replat to combine two (2) existing parcels of land (*i.e. Lots 8 & 9, Block A, Dalton Goliad Addition*) into one (1) (*i.e. Lot 10, Block A, Dalton Goliad Addition*). The purpose of the Replat is to abandon existing easements, dedicate new easements, and remove a lot line between the two (2) existing lots in order to facilitate the development of two (2) restaurant/retail buildings on the subject property.
- The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57 [Case No. A1983-002]*. Based on the City's historic zoning maps the subject property was rezoned from an Agricultural (AG) District to a General Retail (GR) District at some point between November 7, 1983 and December 7, 1993. On February 15, 2016, the City Council approved a preliminary plat [*Case No. P2016-004*] for Lots 1-6, Block A, Dalton-Goliad Addition. This approval was followed by a final plat [*Case No. P2016-034*], which was approved by the City Council on August 1, 2016. This final plat created Lots 1-3, Block A, Dalton-Goliad Addition. On December 4, 2017, the City Council approved a replat [*Case No. P2017-062*] subdividing Lot 2, Block A into Lots 4 & 5, Block A (*i.e. Lot 4, Block A, Dalton-Goliad Addition*); however, this replat was never filed. Prior to the replat, a Specific Use Permit (SUP) [*S-171; Ordinance No. 17-39; Case No. Z2017-029*] was approved by the City Council on August 7, 2017. This approval allowed a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In (i.e. Freddy's Frozen Custard)* on the subject property. On September 12, 2017, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-024*] for the proposed restaurant; however, the restaurant was never constructed, and the site plan and the Specific Use Permit (SUP) have since expired. On December 7, 2020, the City Council approved a conveyance plat [*Case No. P2020-048*] for the purpose of subdividing one (1) lot (*i.e. Lot 2, Block A, Dalton-Goliad Addition*) into four (4) lots (*i.e. Lots 4-7, Block A, Dalton Goliad Addition*) to convey the property. This conveyance plat established the subject property as Lot 5, Block A, Dalton-Goliad Addition. On March 15, 2021, the City Council denied a Specific Use Permit (SUP) request [*Case No. Z2021-002*] for a Self-Service Car Wash. On June 1, 2021, the City Council approved a replat [*Case No. P2021-016*] that established the subject property as Lots 8 & 9, Block A, Dalton Goliad Addition. On October 2, 2023, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2023-042*] for a *Restaurant, Greater Than 2,000 SF with a Drive-Through or Drive-In*. On November 14, 2023, the Planning and Zoning Commission approved a site plan [*Case No. SP2023-036*] to allow the construction of two (2) restaurant/retail buildings. The subject property is currently vacant.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of a Replat for Lot 10, Block A, Dalton Goliad Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: P2024-005  
PROJECT NAME: Lot 10, Block A, Dalton Goliad Addition  
SITE ADDRESS/LOCATIONS: 3611 & 3775 N. Goliad Street  
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2024	Approved w/ Comments

02/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 10, Block A, Dalton Goliad Addition being a 1.93-acre tract of land identified as Lots 8 & 9, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2024-005) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Final Plat  
Lot 10, Block A,  
Dalton Goliad Addition  
Being a Replat of  
Lots 8 & 9, Block A,  
Dalton Goliad Addition  
Being 1 Lot  
1.927-Acres or 83,951 SF  
Situated in the  
T. R. Bailey Survey, Abstract No. 30  
City of Rockwall, Rockwall County, Texas

M.5 Please indicate the City Limit Line. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)



M.6 Please indicate the centerline and right-of-way line for N. Goliad Street. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.8 The Owners Dedication language is not from our current Subdivision Ordinance. Please review this and update the Owners Dedication language. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please remove the preliminary language from the surveyor signature block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please update the City Signature block with the updated replat signature block located in our Subdivision Ordinance. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: February 27, 2024  
City Council: March 4, 2024

I.13 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

02/23/2024: 1. Call out width.  
2. Call minimum FFE based on 2 feet above detention pond 100-yr WSEL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/20/2024	Approved

No Comments

LOT 27, BLOCK C  
HARLAN PARK -  
PHASE TWO  
CAB. C, SLD. 266

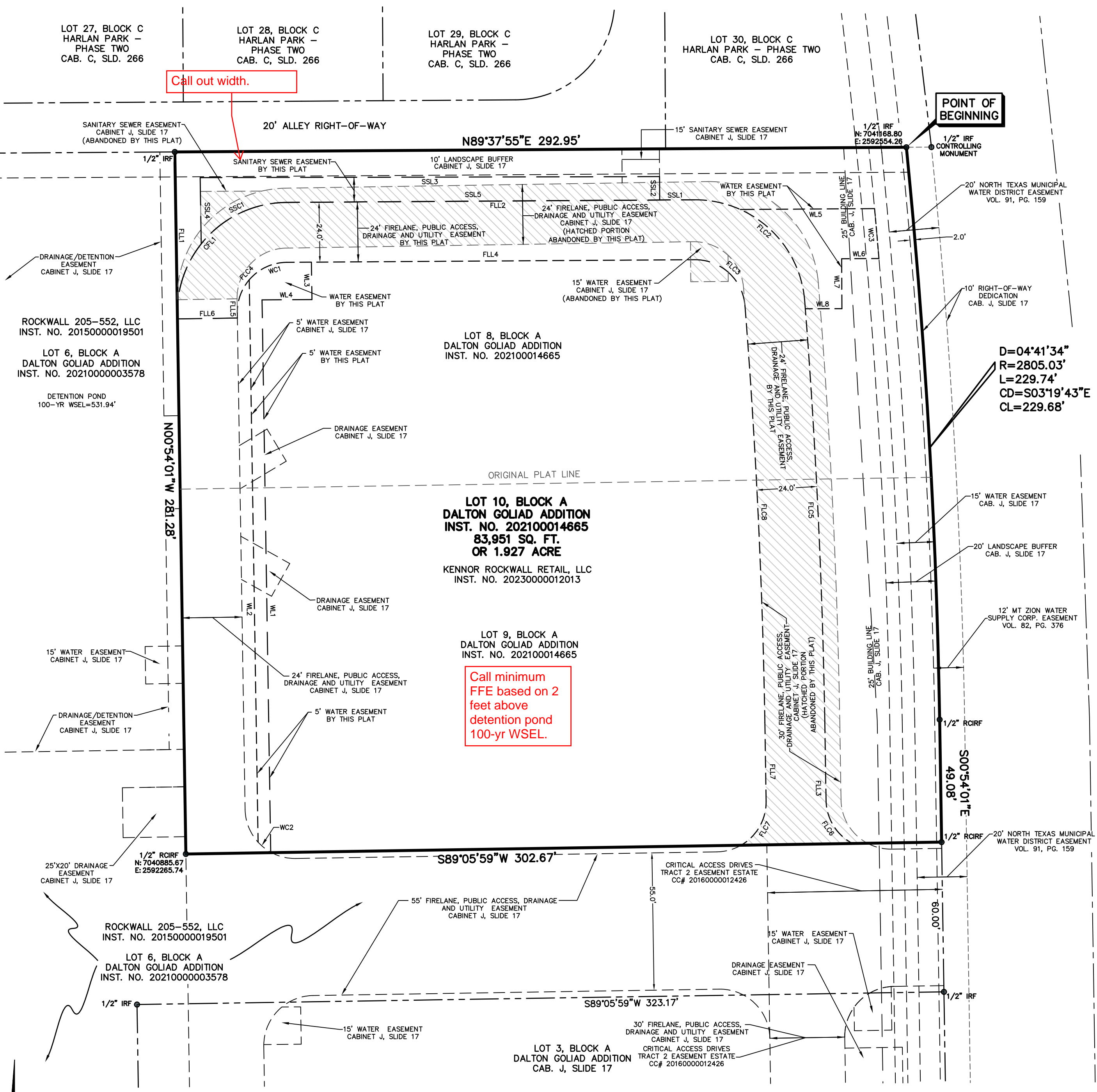
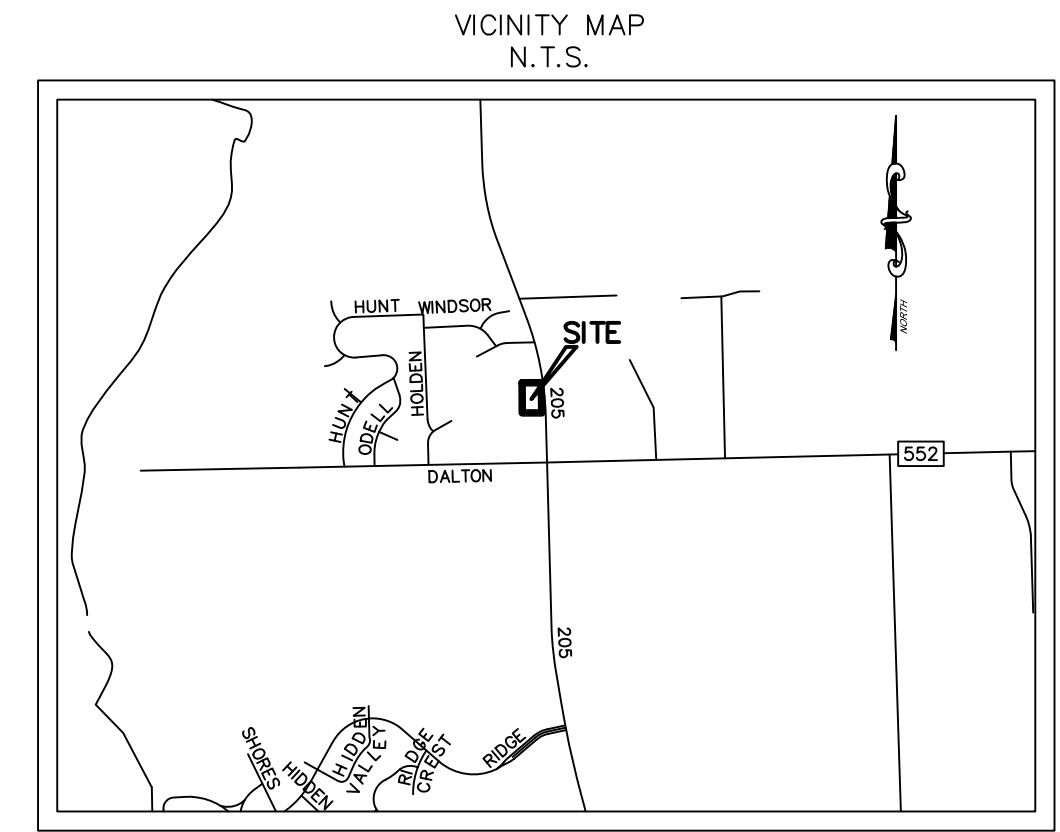
LOT 28, BLOCK C  
HARLAN PARK -  
PHASE TWO  
CAB. C, SLD. 266

LOT 29, BLOCK C  
HARLAN PARK -  
PHASE TWO  
CAB. C, SLD. 266

LOT 30, BLOCK C  
HARLAN PARK - PHASE TWO  
CAB. C, SLD. 266

Call out width.

POINT OF BEGINNING



D=04°41'34"  
R=2805.03'  
L=229.74'  
CD=S03°19'43"E  
CL=229.68'

LOT 10, BLOCK A  
DALTON GOLIAD ADDITION  
INST. NO. 202100014665  
83,951 SQ. FT.  
OR 1.927 ACRE  
KENNOR ROCKWALL RETAIL, LLC  
INST. NO. 20230000012013

Call minimum  
FFE based on 2  
feet above  
detention pond  
100-yr WSEL.

STATE HIGHWAY NO. 205  
(CALLED 100' RIGHT-OF-WAY)

LINE	BEARING	DISTANCE
FLL1	S 00°54'01" E	66.91'
FLL2	N 89°37'55" E	163.36'
FLL3	S 00°54'01" E	32.52'
FLL4	S 89°37'55" W	163.36'
FLL5	S 00°54'01" E	2.00'
FLL6	S 89°05'59" W	24.00'
FLL7	S 00°54'01" E	31.50'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
FLC1	71.53'	44.09'	092°56'32"	N 43°05'33" E	63.94'
FLC2	65.95'	44.00'	85°52'57"	S 47°25'36" E	59.95'
FLC3	29.98'	20.00'	085°52'41"	N 47°25'44" W	27.25'
FLC4	31.60'	20.00'	090°31'56"	S 44°21'57" W	28.42'
FLC5	168.89'	2759.03'	03°30'11"	S 02°44'02" E	168.66'
FLC6	21.31'	20.00'	61°03'43"	S 31°25'53" E	20.32'
FLC7	21.31'	20.00'	61°02'41"	N 29°37'19" E	20.31'
FLC8	167.20'	2735.03'	03°30'10"	N 02°44'02" W	167.18'

LINE	BEARING	DISTANCE
WL1	S 00°54'01" E	221.28'
WL2	N 00°54'01" W	225.32'
WL3	S 00°54'01" E	15.00'
WL4	S 89°37'55" W	20.00'
WL5	N 89°37'55" E	53.77'
WL6	N 89°37'55" E	14.92'
WL7	N 00°16'02" W	20.00'
WL8	S 89°52'27" W	14.65'

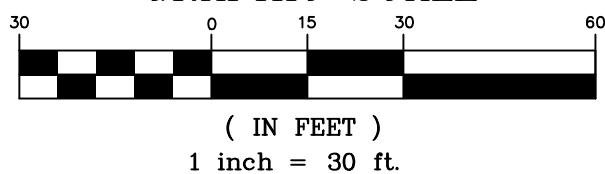
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
WC1	17.15'	20.00'	49°07'22"	S 65°04'15" W	16.63'
WC2	6.49'	20.00'	018°35'25"	N 51°36'18" W	6.46'
WC3	20.07'	2790.03'	00°24'43"	N 04°59'32" W	20.07'

LINE	BEARING	DISTANCE
SSL1	S 89°37'55" W	19.94'
SSL2	N 00°22'05" W	9.37'
SSL3	S 89°52'27" W	183.94'
SSL4	S 00°54'01" E	26.54'
SSL5	N 89°37'55" E	149.44'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
SSC1	39.26'	44.14'	050°57'18"	N 64°03'58" E	37.98'

FINAL PLAT  
DALTON GOLIAD ADDITION  
LOT 10, BLOCK A  
BEING A REPLAT OF LOTS 8 AND 9, BLOCK A,  
DALTON GOLIAD ADDITION  
T. R. BAILEY SURVEY, ABSTRACT NO. 30  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

GRAPHIC SCALE



LINETYPE TABLE

	BOUNDARY LINE
	ADJOINER LINE
	EASEMENT LINE
	BUILDING LINE
	STREET CENTERLINE

ENGINEER:

VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD  
SUITE 440, LB 44  
GARLAND, TEXAS 75042  
972-278-2948  
CONTACT: JUAN VASQUEZ, P.E.

OWNER:

KENNOR ROCKWALL RETAIL, LLC  
706 VALENCIA STREET  
DALLAS, TEXAS 75223  
SHANE SHOULDERS  
903-819-1208

CASE NO. P \_\_\_\_\_

JOB NO.: 15-1216L8&9	<b>PEISER &amp; MANKIN SURVEYING, LLC</b> <a href="http://www.peisersurveying.com">www.peisersurveying.com</a>	1612 HART STREET SUITE 201 SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	Member Since 1977
DATE: 11/27/2023 REV: 1/31/2024				
SCALE: 1" = 30'	SHEET 1 OF 2			
DRAWN: J.M.N.	FIRM No. 100999-00			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3611 and 3775 N. Goliad Street

SUBDIVISION Dalton Goliad Addition

LOT 8&9

BLOCK A

GENERAL LOCATION West side of S.H. 205 two lots north of Dalton Road

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING GR w/N SH 205 Overlay

CURRENT USE Vacant

PROPOSED ZONING Same

PROPOSED USE Retail/Rest. Shopping Center

ACREAGE 1.93

LOTS [CURRENT] 2

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kennor Rockwall Retail, LLC

APPLICANT Vasquez Engineering, LLC

CONTACT PERSON Shane Shoulders

CONTACT PERSON Juan J. Vasquez

ADDRESS 8848 Greenville Ave.

ADDRESS 1919 S. Shiloh Road

Suite 440

CITY, STATE & ZIP Dallas, TX 75243

CITY, STATE & ZIP Garland, TX 75042

PHONE 903-819-1208

PHONE 972-278-2948

E-MAIL sshoulders@sbcglobal.net

E-MAIL jvasquez@vasquezengineering.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shane Shoulders [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

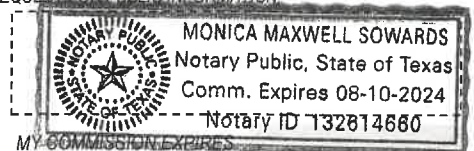
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ <sup>338.50</sup> 338.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF February, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF February, 2024.

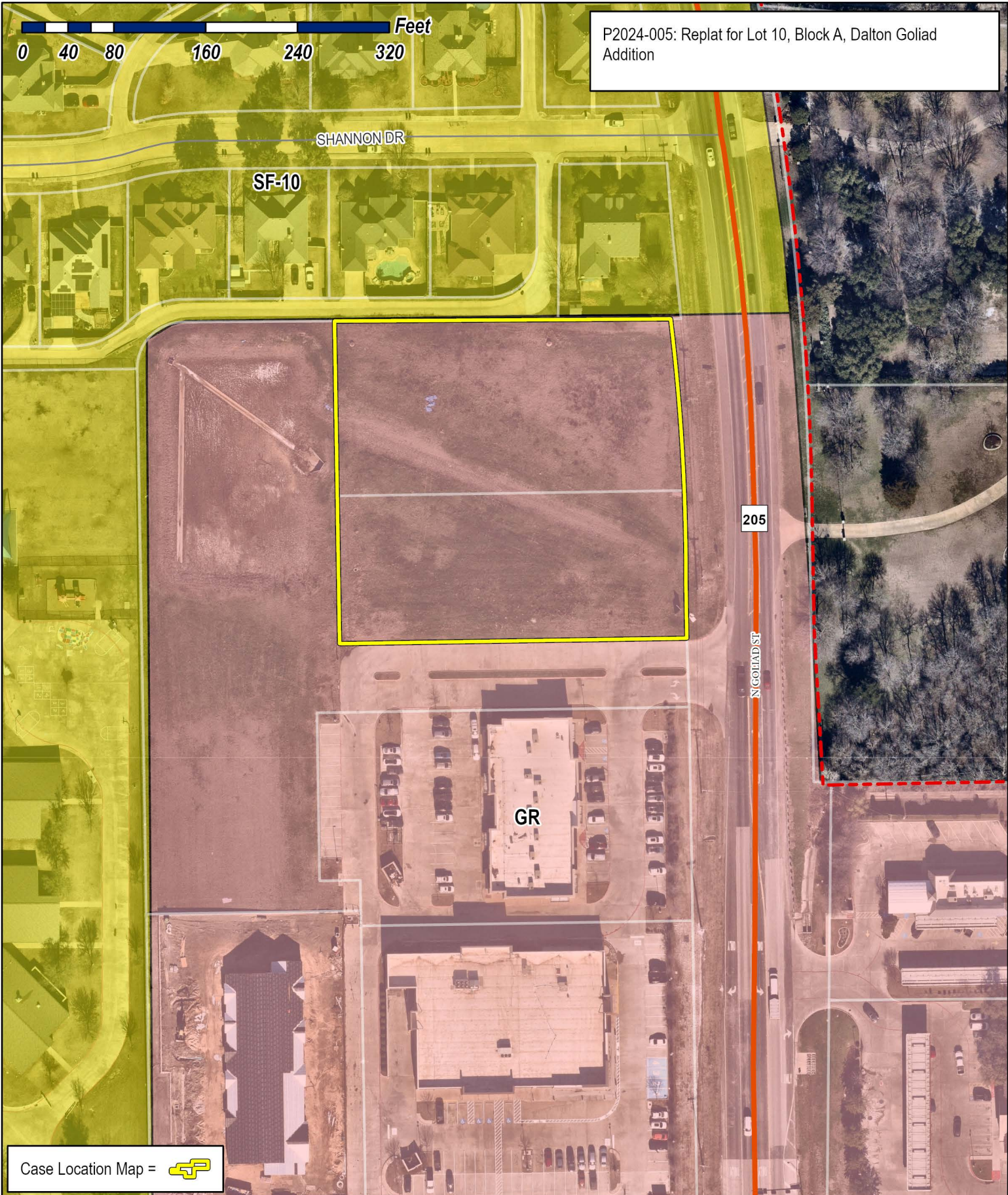
OWNER'S SIGNATURE

*[Signature]*  
*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



08-10-2024



P2024-005: Replat for Lot 10, Block A, Dalton Goliad Addition



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



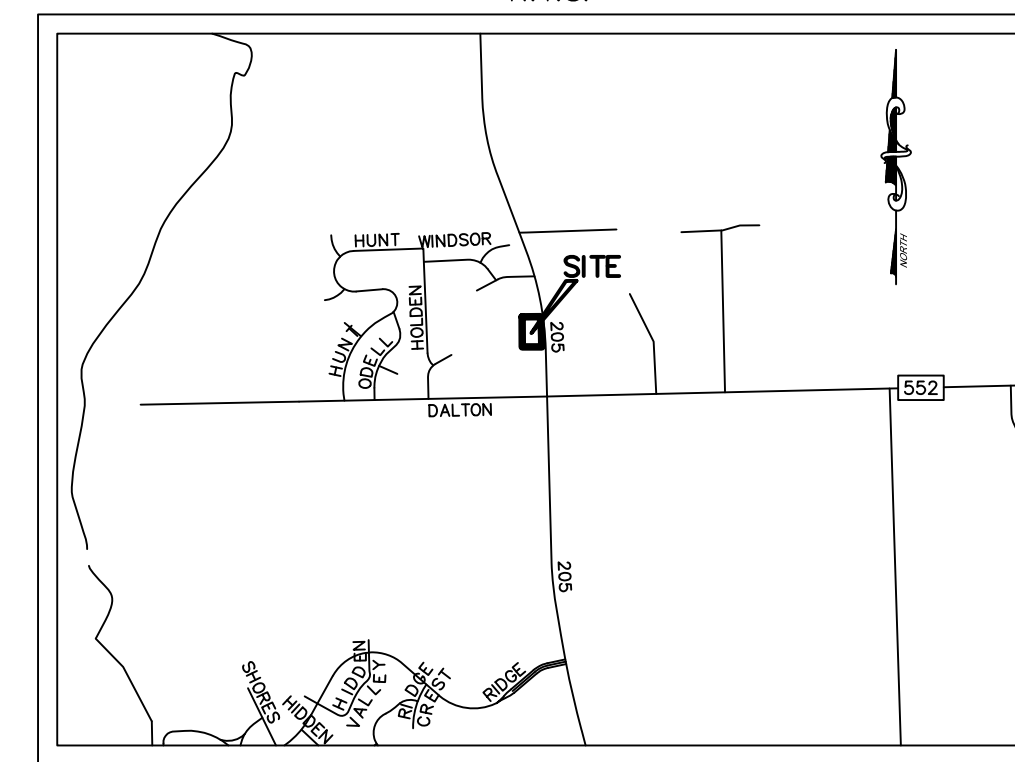
LOT 27, BLOCK C  
HARLAN PARK -  
PHASE TWO  
CAB. C, SLD. 266

LOT 28, BLOCK C  
HARLAN PARK -  
PHASE TWO  
CAB. C, SLD. 266

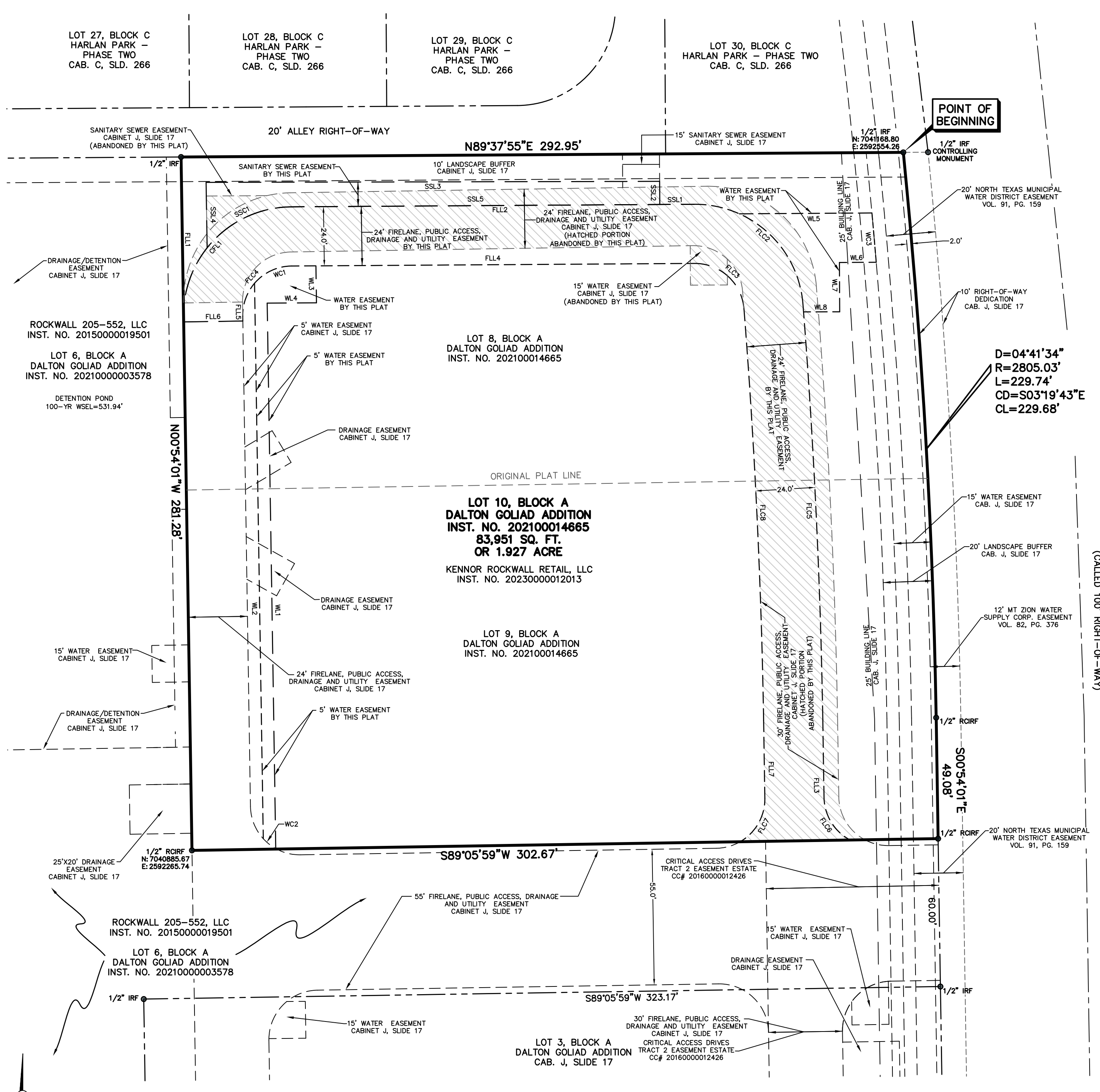
LOT 29, BLOCK C  
HARLAN PARK -  
PHASE TWO  
CAB. C, SLD. 266

LOT 30, BLOCK C  
HARLAN PARK - PHASE TWO  
CAB. C, SLD. 266

VICINITY MAP  
N.T.S.



POINT OF BEGINNING



D=04°41'34"  
R=2805.03'  
L=229.74'  
CD=S03°19'43"E  
CL=229.68'

STATE HIGHWAY NO. 205  
(CALLED 100' RIGHT-OF-WAY)

FIRE LANE LINE TABLE

LINE	BEARING	DISTANCE
FLL1	S 00°54'01" E	66.91'
FLL2	N 89°37'55" E	163.36'
FLL3	S 00°54'01" E	32.52'
FLL4	S 89°37'55" W	163.36'
FLL5	S 00°54'01" E	2.00'
FLL6	S 89°05'59" W	24.00'
FLL7	S 00°54'01" E	31.50'

FIRE LANE CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
FLC1	71.53'	44.09'	092°56'32"	N 43°05'33" E	63.94'
FLC2	65.95'	44.00'	85°52'57"	S 47°25'36" E	59.95'
FLC3	29.98'	20.00'	085°52'41"	N 47°25'44" W	27.25'
FLC4	31.60'	20.00'	090°31'56"	S 44°21'57" W	28.42'
FLC5	168.89'	2759.03'	03°30'11"	S 02°44'02" E	168.66'
FLC6	21.31'	20.00'	61°03'43"	S 31°25'53" E	20.32'
FLC7	21.31'	20.00'	61°02'41"	N 29°37'19" E	20.31'
FLC8	167.20'	2735.03'	03°30'10"	N 02°44'02" W	167.18'

WATER EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
WL1	S 00°54'01" E	221.28'
WL2	N 00°54'01" W	225.32'
WL3	S 00°54'01" E	15.00'
WL4	S 89°37'55" W	20.00'
WL5	N 89°37'55" E	53.77'
WL6	N 89°37'55" E	14.92'
WL7	N 00°16'02" W	20.00'
WL8	S 89°52'27" W	14.65'

WATER EASEMENT CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
WC1	17.15'	20.00'	49°07'22"	S 65°04'15" W	16.63'
WC2	6.49'	20.00'	018°35'25"	N 51°36'18" W	6.46'
WC3	20.07'	2790.03'	00°24'43"	N 04°59'32" W	20.07'

SANITARY SEWER EASEMENT LINE TABLE

LINE	BEARING	DISTANCE
SSL1	S 89°37'55" W	19.94'
SSL2	N 00°22'05" W	9.37'
SSL3	S 89°52'27" W	183.94'
SSL4	S 00°54'01" E	26.54'
SSL5	N 89°37'55" E	149.44'

SANITARY SEWER EASEMENT CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
SSC1	39.26'	44.14'	050°57'18"	N 64°03'58" E	37.98'

LOT 8, BLOCK A  
DALTON GOLIAD ADDITION  
INST. NO. 202100014665

LOT 10, BLOCK A  
DALTON GOLIAD ADDITION  
INST. NO. 202100014665  
83,951 SQ. FT.  
OR 1.927 ACRE

KENOR ROCKWALL RETAIL, LLC  
INST. NO. 20230000012013

LOT 9, BLOCK A  
DALTON GOLIAD ADDITION  
INST. NO. 202100014665

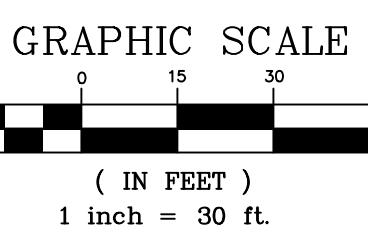
ROCKWALL 205-552, LLC  
INST. NO. 20150000019501

LOT 6, BLOCK A  
DALTON GOLIAD ADDITION  
INST. NO. 20210000003578

LOT 3, BLOCK A  
DALTON GOLIAD ADDITION  
CAB. J, SLIDE 17

CRITICAL ACCESS DRIVES  
TRACT 2 EASEMENT ESTATE  
CC# 20160000012426

FINAL PLAT  
DALTON GOLIAD ADDITION  
LOT 10, BLOCK A  
BEING A REPLAT OF LOTS 8 AND 9, BLOCK A,  
DALTON GOLIAD ADDITION  
T. R. BAILEY SURVEY, ABSTRACT NO. 30  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



LINETYPE TABLE

—————	BOUNDARY LINE
- - - - -	ADJOINER LINE
-----	EASEMENT LINE
=====	BUILDING LINE
-----	STREET CENTERLINE

ENGINEER:  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD  
SUITE 440, LB 44  
GARLAND, TEXAS 75042  
972-278-2948  
CONTACT: JUAN VASQUEZ, P.E.

OWNER:  
KENOR ROCKWALL RETAIL, LLC  
706 VALENCIA STREET  
DALLAS, TEXAS 75223  
SHANE SHOULDERS  
903-819-1208

CASE NO. P \_\_\_\_\_

JOB NO.:	15-1216L8&9
DATE:	11/27/2023
REV:	1/31/2024
SCALE:	1" = 30'
DRAWN:	J.M.N.

**PEISER & MANKIN SURVEYING, LLC**  
www.peisersurveying.com

1612 HART STREET  
SUITE 201  
SOUTHLAKE, TEXAS 76092  
817-481-1806 (O)

COMMERCIAL  
RESIDENTIAL  
BOUNDARIES  
TOPOGRAPHY  
MORTGAGE

Texas Society of Professional Surveyors  
Member Since 1977

SHEET 1 OF 2

OWNER'S CERTIFICATION

WHEREAS KENNOR ROCKWALL RETAIL, LLC, is the sole owner of that tract of land in the City of Rockwall, Rockwall County, Texas, situated in the T. R. BAILEY SURVEY, ABSTRACT NO. 30, and being a portion of that certain tract of land conveyed to Kennor Rockwall Retail, LLC in Special Warranty Deed recorded under Instrument Number 20230000012013, Deed Records, Rockwall County, Texas, and being Lots 8 and 9, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the replat recorded in under Clerk's File No. 20210000014665, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with red plastic cap stamped "Peiser & Mankin SURV" found (hereinafter referred to as 1/2 inch iron rod with red cap found) for the northeast corner of said Lot 8, same being in the south line of Block C, Harlan Park-Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 266, Plat Records, Rockwall County, Texas, same being in the westerly right-of-way line of Sate Highway No. 205 (called 100 foot right-of-way), same being the beginning of a curve to the right, having a radius of 2805.03 feet and a delta angle of 04 deg. 41 min. 34 sec.;

THENCE along said curve to the right, and along the common line of said Lot 8 and said State Highway No. 205, passing a 1/2 inch iron rod with red cap found for the southeast corner of said Lot 8, same being the northeast corner of aforesaid Lot 9, and continuing along the common line of said Lot 9 and said State Highway No. 205, a total arc distance of 229.74 feet and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet to a 1/2 inch iron rod with red cap found for angle point;

THENCE South 00 deg. 54 min. 01 sec. East, continuing along the common line of said Lot 9 and said State Highway No. 205, a distance of 49.08 feet to a 1/2 inch iron rod with red cap found for the southeast corner of said Lot 9, same being the most easterly northeast corner of Lot 6, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20210000003578, aforesaid Official Public Records;

THENCE along the common line of said Lots 9 and 6 as follows:

South 89 deg. 05 min. 59 sec. West, a distance of 302.67 feet to a 1/2 inch iron rod with red cap found for the southwest corner of said Lot 9, same being an internal corner of said Lot 6;

North 00 deg. 54 min. 01 sec. West, passing at a distance of 146.18 feet, a 1/2 inch iron rod with red cap found for the northeast corner of said Lot 9, same being the southwest corner of aforesaid Lot 8, and continuing along the common line of said Lot 8 and said Lot 6, a total distance of 281.28 feet to the 1/2 inch iron rod with red cap found for the northwest corner of said Lot 8, same being in the south line of aforesaid Block C, Harlan Park-Phase Two;

THENCE North 89 deg. 37 min. 55 sec. East, along the common line of said Lot 8 and said Block C, a distance of 292.95 feet to the POINT OF BEGINNING and containing 83,951 square feet or 1.927 acres of computed land, more or less.

APPROVED:

I hereby certify that the above and foregoing plat of Dalton Goliad Addition, Lot 10, Block A, an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Director of Planning

City of Engineer

Date

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

PRELIMINARY--NOT TO BE RECORDED

Timothy R. Mankin Date Registered Professional Land Surveyor, No. 6122

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the DALTON GOLIAD ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the DALTON GOLIAD ADDITION have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following; 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein. 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone. 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements. 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development. 6. All detention/drainage systems to be maintained, repaired, and replaced by property owner. 7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2024

KENNOR ROCKWALL RETAIL, LLC

By: SHANE SHOULDERS, MANAGER

STATE OF TEXAS: COUNTY OF DALLAS: BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared SHANE SHOULDERS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

NOTARY PUBLIC in and for the STATE OF TEXAS

ENGINEER: VASQUEZ ENGINEERING, L.L.C. 1919 S. SHILOH ROAD SUITE 440, LB 44 GARLAND, TEXAS 75042 972-278-2948 CONTACT: JUAN VASQUEZ, P.E.

OWNER: KENNOR ROCKWALL RETAIL, LLC 706 VALENCIA STREET DALLAS, TEXAS 75223 SHANE SHOULDERS 903-819-1208

NOTES:

- 1. IRF - Iron Rod Found
2. RCIRF - Iron Rod Found w/ "PEISER & MANKIN SURV" red plastic cap
3. Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Allterra Central's Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods. An average Combination Factor of 1.0001480389 was used to scale grid coordinates and distances to surface.
4. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statues and is subject to fines and withholding of utilities and building certificates.
5. Coordinates shown hereon are Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 on Grid Coordinate values, no scale and no projection.
6. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
7. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
8. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
9. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane Improvements.

FINAL PLAT DALTON GOLIAD ADDITION LOT 10, BLOCK A BEING A REPLAT OF LOTS 8 AND 9, BLOCK A, DALTON GOLIAD ADDITION T. R. BAILEY SURVEY, ABSTRACT NO. 30 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Table with 3 columns: Case No., Surveying Firm (PEISER & MANKIN SURVEYING, LLC), and Sheet No. Includes contact info for J.M.N. and firm details.

Northing	Easting	Bearing	Distance
7041168.80	2592554.26		
Radius: 2805.03	Chord: 229.68	Degree: 2°02'33"	Dir: Right
Length: 229.74	Delta: 4°41'34"	Tangent: 114.94	
Chord BRG: S 03°19'43" E	Rad-In: S 84°19'31" W	Rad-Out: S 89°01'04" W	
Radius Point: 7040891.43,	2589762.98		
7040939.51	2592567.59	S 00°54'01" E	49.08
7040890.43	2592568.37	S 89°05'59" W	302.67
7040885.67	2592265.74	N 00°54'01" W	281.28
7041166.92	2592261.32	N 89°37'55" E	292.95
7041168.80	2592554.26		

Closure Error Distance> 0.0000  
Total Distance> 1155.71  
Polyline Area: 83951 sq ft, 1.927 acres





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**FROM:** Henry Lee, *Senior Planner*

**DATE:** February 27, 2024

**SUBJECT:** MIS2024-003; *Exception Request for 320 Sheppard's Hill Drive*

The applicant, Tommy Burns, is requesting the approval of an exception to the landscape material requirements stipulated by Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) to allow the installation of synthetic plant materials (*i.e. artificial turf/grass*). The subject property is located on a 0.23-acre parcel of land (*i.e. Lot 8, Block N, Northshore #1 Addition*), is zoned Single-Family 10 (SF-10) District, and is addressed as 320 Sheppard's Hill Drive. The applicant's letter indicates that the artificial turf will replace all of the grass on the of the subject property (*i.e. front, side, and rear yard*).

According to Section 04, *Approved Landscape Materials*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (*e.g. artificial grass, turf, trees shrubs*) shall be prohibited." In interpreting this section of the code, staff has allowed artificial grass/turf in the rear yards of properties. The reason for this interpretation is that these areas are not within the required yard (*i.e. the front yard, which is what this section of the code is intended to regulate*) and are not typically visible from adjacent properties or rights-of-way. Staff should also note that no other residential property in the City has been permitted to utilize artificial turf in the required yard. According to Subsection 3.06.05, *Lot Development*, and Section 4.02, *Coverage*, of Chapter 4, *Vegetation*, of the Engineering Standards of Design and Construction, "(n)o artificial grass is allowed in any City right-of-way and/or easement." Given this -- *if approved* -- the applicant will be required to have grass within the right-of-way at the front and rear of the subject property. Staff should note that the applicant's renderings currently show decomposed granite in the right-of-way and that this material would not be permitted. According to the applicant's letter, they are requesting the artificial turf due to the cost of maintaining grass and cracking in the soil.



**FIGURE 1:** THE RENDERING PROVIDED BY THE APPLICANT INDICATING WHERE THE ARTIFICIAL TURF IS TO BE INSTALLED.

Commission have any questions concerning the applicant's request, staff will be available at the meeting on February 27, 2024.

Staff should note that the applicant's request to install artificial turf on the subject property appears to be inconsistent with the surrounding neighborhood. Staff came to this conclusion based on the fact that no other properties have artificial turf installed in the front yard. With this being said, the approval of an exception to the landscape material requirements is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: MIS2024-003  
PROJECT NAME: Variance Request for 320 Sheppards Hill Drive  
SITE ADDRESS/LOCATIONS: 320 SHEPARDS HILL DR, ROCKWALL, 75087  
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

02/23/2024: 1. No gravel or artificial turf within City ROW. City ROW must be grass.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2024	Approved w/ Comments

02/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Tommy Burns for the approval of a Miscellaneous Case for the approval of artificial or synthetic plant materials on a 0.23-acre parcel of land identified as Lot 8, Block N, Northshore #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 320 Sheppard's Hill Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

I.3 According to Section 04, Approved Landscape Materials, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), "(a)rtificial or synthetic plant materials (e.g. artificial grass, turf, trees shrubs) shall be prohibited." In this case, you are requesting approval of artificial turf, which requires review by the Planning and Zoning Commission.

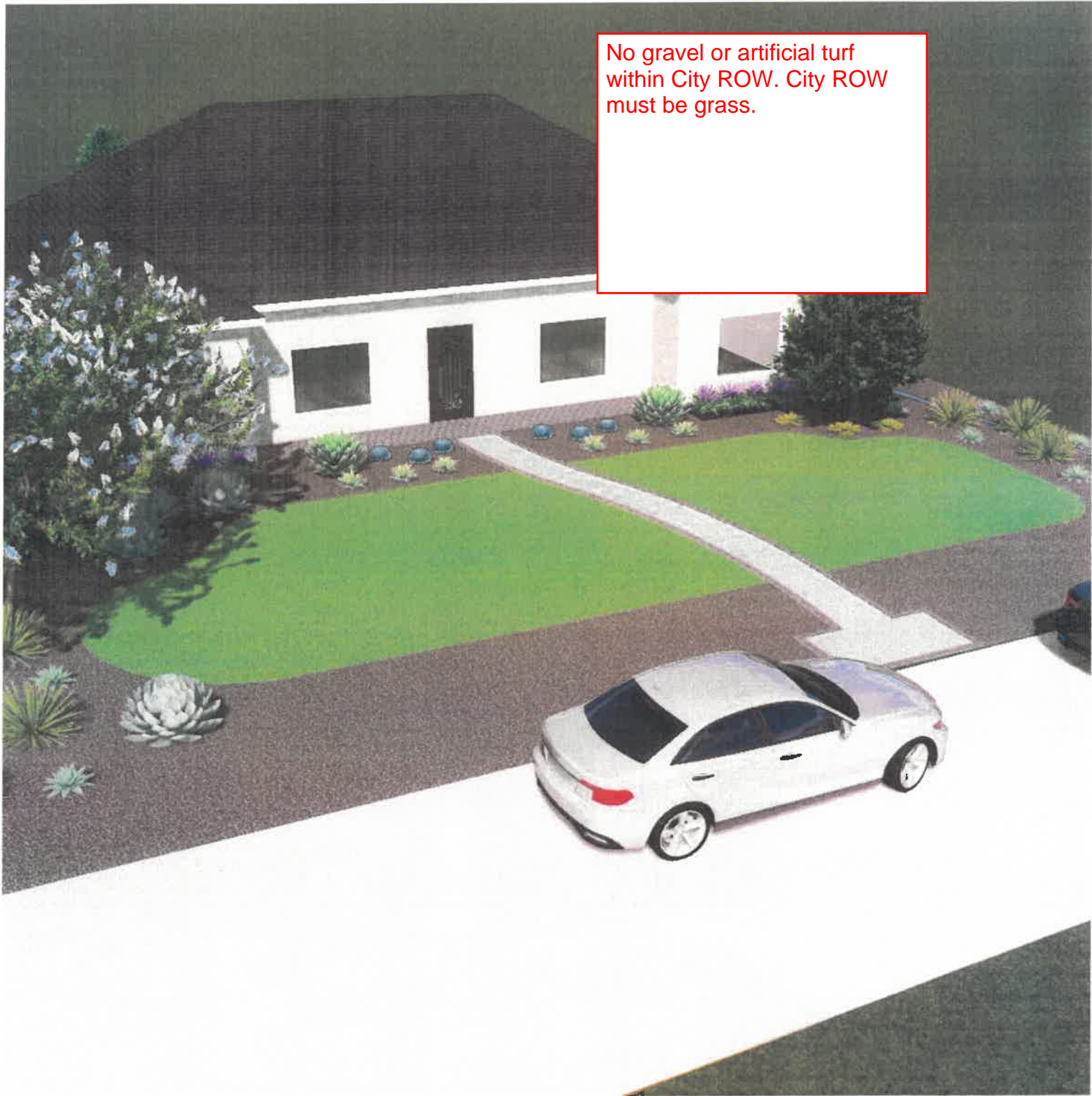
M.4 According to Subsection 3.06.05, Lot Development, and Section 4.02, Coverage, of Chapter 4, Vegetation, of the Engineering Standards of Design and Construction, "(n)o artificial grass is allowed in any City right-of-way and/or easement."

I.5 Please note the scheduled meeting for this case:

1) Planning & Zoning meeting will be held on February 27, 2024 at 6pm in the council chambers at City Hall.

I.6 A representative is required to be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

No gravel or artificial turf within City ROW. City ROW must be grass.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup></p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&amp;2</sup></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input checked="" type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
--	---

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 320 shepards Hill Dr Rockwall TX 75087

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Tommy Burns</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	<u>Tommy Burns</u>	CONTACT PERSON	_____
ADDRESS	<u>320 Shepards Hill Dr</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>Rockwall TX 75087</u>	CITY, STATE & ZIP	_____
PHONE	<u>951-315-5221</u>	PHONE	_____
E-MAIL	<u>teeburns@gmail.com</u>	E-MAIL	_____

## NOTARY VERIFICATION [REQUIRED]

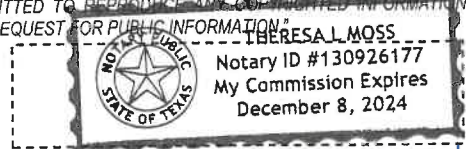
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tommy Burns [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF February, 2024.

OWNER'S SIGNATURE Tommy Burns

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Beressa R Moss



MY COMMISSION EXPIRES 12.08.2024



MIS2024-003: Variance Request for 320 Shepards Hill Drive

BEDFORD FALLS LN

PD-41

SHEPARDS HILL DR

SF-10

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Tommy Burns**  
**320 Shepards Hill Drive, Rockwall TX 75071**

**February 16, 2024**

**Greetings: City of Rockwall Planning and Zoning Department.**

**Please accept this Variance application.**

**After careful consideration of the state of my current yard that was devastated by the low rain years Rockwall has experienced- my lawns for the most part died and the ground developed unsightly cracks and the grass looked just terrible. I am submitting this plan/renderings of a xeriscape yard for replacement of grass.**

**I was pouring literally thousands of gallons of water to help but it was to no avail. Unsightly weeds crept in and it looked really bad.**

**What I am proposing for this variance Per Section 4 (B) that prohibits artificial grass is a very high quality artificial turf professionally installed. It will be surrounded by plantings of xeriscape natural and drought tolerant plantings of shrubs and plants fed by a drip system irrigation- again all professionally planned and installed.**

**The savings of water alone will be in the thousand of gallons per year not having to water several times a week. Not to mention it will look terrific. Several of my neighbors have inquired as to what I am doing and and are considering doing the same.**

**I urge the Planning and Zone Department to please approve this variance.**

**It could serve as a spec yard for people to come and take a look at. When you see, feel and walk on the quality artificial turf and look at the very attractive surroundings drought tolerant plantings one can see this is a wonderful substitute for grass and an expensive irrigation system that literally wastes thousands of gallons of water that would be saved every year**

**Thank you very much for your consideration. Warmer weather is coming very soon.**

**Sincerely,**

**Tommy Burns**









# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**FROM:** Ryan Miller, *Director of Planning and Zoning*

**DATE:** February 27, 2024

**SUBJECT:** Z2024-006; *Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the UDC and Chapter 13, Rental Housing, of the Municipal Code of Ordinance for Short-Term Rental Regulations*

---

On February 5, 2024, the City Council voted 7-0 to direct staff to move forward with an amendment to the Unified Development Code (UDC) and the Municipal Code of Ordinances establishing regulations and a registration program for *Short-Term Rentals*. As part of this direction, the City Council also requested that staff make the following changes to the proposed ordinance: [1] change the proximity requirements from 250-feet to 500-feet, [2] increase the time period for violations from six (6) months to 12-months, [3] increase the revocation of a permit from six (6) months to 12-months, [4] include a requirement for commercial insurance, [5] increase the minimum fine associated with a violation from \$250.00 to \$500.00, and [6] require inspections to be performed prior to issuing a *Short-Term Rental Permit*. In accordance with this direction staff has amended the proposed draft ordinance to include these changes and is now bringing the amendment forward for consideration and recommendation from the Planning and Zoning Commission. For the Planning and Zoning Commission's reference staff has included the memorandum provided to the City Council concerning the proposed *Short-Term Rental* text amendment, the proposed *Short-Term Rental Permit Application*, and a draft ordinance in the attached packet. This amendment will be subject to the following schedule:

Planning and Zoning Commission Work Session: February 27, 2024

Planning and Zoning Commission Public Hearing: March 12, 2024

City Council Public Hearing/1<sup>st</sup> Reading: March 18, 2024

City Council 2<sup>nd</sup> Reading: April 1, 2024

Based on this schedule -- *and if this text amendment is approved at the April 1, 2024 City Council meeting* --, the proposed draft ordinance would create a 90-day grace period for the acceptance of *Short-Term Rental Permits* for all existing *Short-Term Rentals*. Once this grace period ends, the City could then accept applications for new *Short-Term Rental Permits*. Should the Planning and Zoning Commission have any questions concerning the proposed text amendment or the proposed *Short-Term Rental Permit*, staff will be available at the February 27, 2024 City Council meeting.



**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

**PLANNING AND ZONING DEPARTMENT**  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**CC:** Mary Smith, *City Manager*  
Joey Boyd, *Assistant City Manager*  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** February 5, 2024  
**SUBJECT:** Proposed Short-Term Rental (STR) Program

---

On November 6, 2023, the City Council approved a motion to direct staff to prepare an ordinance creating regulations for *Short-Term Rentals (STR's)* by a vote of 7-0. Based on staff's review of this meeting, the purpose of this motion was to have staff create a registration and permitting program that could provide logical regulations and restrictions for STR's operating in the City. Some of the specific regulations and restrictions mentioned by the City Council in this meeting were: [1] proximity requirements, [2] life safety, [3] fire safety, [4] commercial insurance, and [5] inspection requirements. To address the City Council's direction staff has prepared the attached draft ordinance, which proposes amending the Unified Development Code (UDC) and Municipal Code of Ordinances to create both zoning and regulatory requirements to deal with STR's. Specifically, this ordinance would achieve the following:

- Defines *Short-Term Rental* as "...a residential dwelling unit, apartment, condominium, or *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant." This definition goes on to define a *Short-Term Rental* as a residential land use in accordance with the definition contained in the *Tax Code* and in conformance with previous Texas court decisions (*i.e. Zaatari, Tarr, Cauthorn, and Schack*).
- Creates three (3) distinct categories of *Short-Term Rentals*, which are as follows:
  - (1) *Short-Term Rental (Owner-Occupied Single-Family Home, Townhome, or Duplex)*. A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (*i.e. occupies the primary structure*) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
  - (2) *Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)*. A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof - - on the same property (*i.e. the property owner or operator is not on-site as an occupant during the rental of the property*).
  - (3) *Short-Term Rental (Apartment or Condominium)*. An apartment or condominium (*or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]*) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.
- Amends the *Permissible Land Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) to allow *Short-Term Rentals* in all of the City's *Single-Family* zoning districts and in the Two-Family (2F) District, Downtown (DT) District, Multi-Family 14 (MF-14) District, and Residential-Office (RO) District. This would specifically prohibit the *Short-Term Rental* land use within the City's non-residential zoning district, which is consistent with the definition established above.

- Creates *Conditional Land Use Standards* for each type of *Short-Term Rental* that regulate the location and types of land uses that can be established with the *STR*. With regard to *Non-Owner Occupied STR's*, a proximity requirement of 250-foot was used to prevent the proliferation of *Non-Owner Occupied STR's* in residential subdivisions; however, the ordinance does allow the City Council to consider a Specific Use Permit (SUP) to allow closer proximity on a *case-by-case* basis. In addition, a percentage of units was established to regulate the number of *STR's* (*i.e. both owner occupied and non-owner occupied*) permitted in an apartment or condominium building. Staff should note that there is precedence for the use of both of these methods to restricting *STR's* in other City's *STR* ordinances (*i.e. the City of Waco uses a 500-foot proximity requirement and the City of San Antonio uses a percentage of units requirement*). In addition, staff should note that proximity requirements are already used for several land uses within the City's Unified Development Code (UDC).
- Creates a *Short-Term Rental Permit and Registration Program*. In conjunction with the proposed ordinance, staff has also created a permit application and registration form that shows the information that would be collected as part of the proposed program. Based on the proposed ordinance, a \$500.00 application fee would be required to register a *STR* and the registration and permit would be valid for a period of three (3) years once issued.
- Creates *General Standards for Short-Term Rentals* that include requirements associated with advertising, parking, temporary structures, trash, signage, life safety requirements, conduct on premises, tenant notification requirements, and payment of hotel occupancy tax. The applicant of a *Short-Term Rental Permit* would be required to self-certify current and continued compliance with these requirements.
- Establishes enforcement and penalty procedures for *Short-Term Rentals*. Specifically, the ordinance establishes specific violations and a penalty that can range from \$250.00 to \$2,000.00 per violation. In addition, if a *STR* accrues three (3) violations in any consecutive six (6) month period, the *Short-Term Rental Permit and Registration* for the *STR* is revoked and the property owner would be prohibited from reapplying for a new *Short-Term Rental Permit and Registration* for a period of six (6) months. Staff should note that many of the cities surveyed have created similar requirements; however, many of these cities use a 12-month penalty for reapplication. In this case, it was determined that a six (6) month penalty was sufficient.
- Requires a *Responsible Party* as part of the *Short-Term Rental Permit and Registration*. A *Responsible Party* is a "...local representative that resides in Rockwall County and who is available at all time the rental is in use." The purpose of this requirement is to discourage absentee ownership, and ensure there is a point of contact that is local and can remedy any issues or violations for the City or the occupants of the *STR* during a rental. This requirement was contained in almost every cities' ordinance that staff surveyed.
- Creates an appeal process for any administrative decisions made by staff as required by the ordinance. Since this would be an appeal to an administrative decision, the ordinance requires all appeals to be heard by the Board of Adjustments (BOA) in accordance with existing procedures.
- Establishes *Non-Conforming Rights* for properties that are able to prove they have been operating as a *Short-Term Rental* prior to the adoption of the proposed ordinance. This includes exemptions to certain zoning requirements (*i.e. the proximity requirements and the permissible use zoning districts*). With this being said, under the proposed program these existing *STR's* would still be required to register and apply for a permit through the proposed program by a specified date (*i.e. the Grace Period*).

In establishing these requirements, staff researched other cities' ordinances to ensure that what was being proposed was not atypical for regulating *Short-Term Rentals*. Staff should note, that the majority of the cities surveyed by staff had more restrictive ordinances than what is currently being proposed. With this being said, the proposed ordinance is an example of a program that can be adopted to regulate *STR's*, and staff can make any adjustments, additions, or omissions desired by the City Council. To assist the City Council in making a decision regarding the proximity requirements, staff has included a map showing the locations of the City's existing known *STR's* and proximity circles or buffers showing a 250-foot, 500-foot, and 1,000-foot separation requirement. In addition, staff has also provided a copy of the proposed draft ordinance and a copy of the *Short-Term Rental Permit and Registration* application form. If the City Council chooses to move forward with the attached draft ordinance, the following would be the schedule for the proposed text amendment:

Planning and Zoning Commission Work Session: February 27, 2024  
Planning and Zoning Commission Public Hearing: March 12, 2024  
City Council Public Hearing/1<sup>st</sup> Reading: March 18, 2024  
City Council 2<sup>nd</sup> Reading: April 1, 2024

Should the City Council have any questions concerning the proposed text amendment staff will be available at the February 5, 2024 City Council meeting.



- (E) A Bed and Breakfast shall be subject to an annual inspection by the Fire Department.
- (F) All applicable hotel/motel taxes shall be paid.
- (G) The maximum length of a guests stay is shall be limited to 14 consecutive days in any 30-day period.
- (H) A Specific Use Permit (SUP) for a Bed and Breakfast shall be reviewed six (6) months after the adoption of the Specific Use Permit (SUP) and annually thereafter unless otherwise stipulated by the Specific Use Permit (SUP) ordinance.
- (3) Duplex.
- (A) Duplexes shall be limited to two (2) dwelling units (i.e. two [2] families) per lot or parcel of land.
- (B) See the standards for the Two-Family (2F) District [Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.](#)
- (4) Attached Garage.
- (A) See [Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards.](#)
- (5) Detached Garage.
- (A) See [Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards.](#)
- (6) Guest Quarters/Secondary Living Unit.
- (A) Guest Quarters or Secondary Living Units may be allowed on a property in a residential zoning district provided that it is ancillary to a single-family home.
- (B) The area of such quarters shall not exceed 30% of the area of the main structure.
- (C) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.
- (D) Guest Quarters or Secondary Living Units not meeting the requirements stated above shall require a Specific Use Permit (SUP).
- (7) Home Occupation.
- (A) The Home Occupation use must clearly be incidental and secondary to the primary use of the property as a residence.
- (B) No person outside the family may be employed in the Home Occupation use.
- (C) There shall be no exterior display, signage, exterior storage of materials, and/or other exterior indication of the Home Occupation use or variation from the residential character of the principal building.
- (D) No traffic shall be generated by such Home Occupation than would normally be expected in the neighborhood.
- (E) No nuisance, offensive noise, vibration, smoke, dust, odors, heat, glare, or electrical disturbance shall be generated.
- (F) A Home Occupation may not be interpreted to include facilities for the repair of motor vehicles, repair of small motors, or a daycare center.
- (8) Full-Service Hotel.
- (A) The minimum room count for a Full-Service Hotel shall be 250-rooms.
- (B) Each guestroom shall have a minimum square footage of 380 SF.
- (C) A Full-Service Hotel shall have a full-service restaurant and kitchen that provides service to the general public.
- (D) A Full-Service Hotel shall have staff that is present 24-hours a day, seven (7) days a week.
- (E) A Full-Service Hotel shall have the following minimum amenities: [1] a minimum 10,000 SF meeting or conference room, and [2] a swimming pool with a minimum area of 1,000 SF.
- (9) Multi-Family Structure or Development.
- (A) See [Subsection 07.02, Multi-Family District Development Standards, of Article 05, District Development Standards.](#)
- (10) Portable Building.
- (A) See [Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards.](#)
- (11) Residential Infill in or Adjacent to an Established Subdivision.
- (A) For the purposes of this Article, an Established Subdivision shall be defined as a subdivision that consists of five (5) or more lots, that is 90% or more developed, and that has been in existence for more than ten (10) years.
- (B) All proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located with 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit (SUP).
- (C) As part of the Specific Use Permit (SUP) request the applicant shall be required to submit a residential plot plan or site plan, landscape plans, and building elevations of the proposed home.
- (D) In reviewing the proposed Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision.
- (E) All housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision.
- (12) Short-Term Rental (Owner-Occupied Single-Family Home, Townhome, or Duplex).
- (A) The *Short-Term Rental* shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. *Banquet Facility/Event Hall* which



includes meeting halls and wedding venues) as stipulated by the *Permissible Use Charts* contained within this Article.

- (B) In order to establish and operate a *Short-Term Rental (Owner Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

(13) Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).

- (A) *Short-Term Rentals* that are *Non-Owner-Occupied* shall not be located within 500-feet of another *Short-Term Rental* that is *Non-Owner Occupied*; however, *Short-Term Rentals* that were in existence prior to **April 1, 2024** that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of this Article, and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to **June 30, 2024** shall be exempted from the proximity requirements.

- (B) *Short-Term Rentals* that are *Non-Owner-Occupied* that do not meet proximity requirements may be considered on a *case-by-case* basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a *Short-Term Rental* that is *Non-Owner-Occupied* the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing *Short-Term Rentals* on the adjacent residential properties and their occupants.

- (C) The *Short-Term Rental* shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. *Banquet Facility/Event Hall which includes meeting halls and wedding venues*) as stipulated by the *Permissible Use Charts* contained within this Article.

- (D) In order to establish and operate a *Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

(14) Short-Term Rental (Apartment or Condominium).

- (A) The number of *Short-Term Rentals* permitted within an *Apartment Complex, Condominium Building, or any other multi-family structure* -- as defined by this land use in Article 13, Definitions, of this Unified Development Code (UDC) -- shall be limited to a total of five (5) percent of the total units situated on a single parcel of land. For example, if a *Condominium Building* consisted of 100-units on a single parcel of land, a total of five (5) of the units could be established as *Short-Term Rentals*. In

cases where there is a remainder in the number of units, the number of units shall round up (e.g.  $25\text{-Units} \times 5.00\% = 1.25\text{-Units}$  or  $2\text{-Units}$ ).

- (B) In order to establish and operate a *Short-Term Rental (Apartment or Condominium)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

~~(12)~~(15) Single-Family Attached Structure.

- (A) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (B) See Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(13)~~(16) Single-Family Detached Structure.

- (A) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (B) See Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(14)~~(17) Single-Family Zero Lot Line Structure.

- (A) A five (5) foot maintenance easement is required on the non-zero-lot-line side of the structure.

- (B) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (C) See Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(15)~~(18) Townhouse.

- (A) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (B) See the standards for the Two-Family (2F) District Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(16)~~(19) Urban Residential.

- (A) Urban Residential includes residential development that at least partly face streets, public sidewalks, or common open space, and/or which are located above retail, office or service uses.

- (B) Ground floor urban residential should have direct access to a sidewalk via a stoop or landing, and a majority of parking should be located in a structure.

(C) Institutional and Community Service Land Uses.

(1) Assisted Living Facility.

- (A) These facilities shall include establishments that accommodate seven (7) or more residents. For facilities with six (6) or fewer residents see Group or Community Home in Subsection 02.03(C)(5).

(2) Church/House of Worship.



designated use of any development, structure, or part thereof, where official approval and the required building permits were granted before the enactment of this Unified Development Code (UDC), or any amendment thereto, where construction, conforming with the plans, shall have been started prior to the effective date of the ordinance from which this Unified Development Code is derived or such amendment, and where such construction shall have been completed in a normal manner within the subsequent 12-month period, with no interruption, except for reasons beyond the builder's control.

- (D) Damage Due to Acts of God. Any non-conforming structure which is damaged more than 75% of its then appraised tax value above the foundation, by fire, flood, explosion, wind, earthquake, war, riot or other calamity or act of God, shall not be restored or reconstructed and used as it was before the damaging event. If such structure is damaged less than 75% of its then appraised tax value above the foundation, it may be restored, reconstructed, or used as before, provided that the restoration or reconstruction is completed within 12 months of the damaging event. The 12-month period does not include any necessary litigation.
- (E) Repair of Unsafe Buildings, Structures and Sites. Nothing in this Unified Development Code (UDC) shall be construed to prohibit the strengthening or repair of any part of any building or structure declared unsafe by proper authority, unless such repairs exceed 50% of the replacement cost of the building. If the repairs exceed 50%, the building shall be brought into conformity with all requirements of the zoning district in which it is located.
- (F) General Repairs and Maintenance.
- (1) On any non-conforming structure or portion of a structure containing a non-conforming use, no work may be done in any period of 12 consecutive months on ordinary repairs, or on repair or replacement of non-load-bearing walls, fixture, wiring, or plumbing to an extent exceeding ten (10) percent of the current replacement cost of the non-conforming structure or non-conforming portion of the structure as the case may be.
  - (2) If 50% or more of a non-conforming structure containing a non-conforming use becomes physically unsafe or unlawful due to lack of repairs or maintenance, and is declared by a duly authorized official to be unsafe or unlawful by reason of physical condition, it shall not thereafter be restored, repaired or rebuilt except in conformity with the regulations of the district in which it is located.
- (G) Moving of a Non-conforming Building or Structure. No non-conforming building or structure shall be moved in whole or in part to any other location on the lot, or on any other lot, unless every portion of the building or structure is made to conform to all the regulations of the district.
- (H) Non-conforming Lot Sizes. All lots used for storage that do not require a building and the use of such lot is made non-conforming by this Unified Development Code (UDC) or amendments thereto shall cease to be used for such storage within six months of the date

of adoption of the ordinance from which this Unified Development Code (UDC) is derived, or amendments [*thereto*].

#### SUBSECTION 06.05: NON-CONFORMING SHORT-TERM RENTALS

Short-Term Rentals, as defined in Article 13, Definitions, of this Unified Development Code (UDC), shall be considered to be legally in existence for the purpose of establishing vested or non-conforming rights regarding the zoning requirements if all of the following criteria is met by the owner of a Short-Term Rental:

- (A) The owner of a property provides a property deed or proof of ownership showing that the property was purchased prior to **April 1, 2024**.
- (B) The owner of the property can provide proof that the property was used as a Short-Term Rental (i.e. a listing, proof of rental, etc.) OR proof of payment of hotel occupancy tax to the City of Rockwall.







vehicles are kept for remuneration, hire, or sale and where a retail service station may be maintained as a secondary use.

- (7) Residential Garage. A residential accessory building used for the storage motor vehicles. These structures are typically attached to the primary structure; however, they may also be a detached structure.
- (8) Guest Quarters/Secondary Living Unit. An accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as a separate domicile.
- (9) Home Occupation. A commercial use customarily carried on in the home by members of the occupant family without structural alterations in the principal building or any of its rooms, without offering any commodity or service for sale on premises, without the installations of machinery or additional equipment other than that customary to normal household operations, without the employment of additional persons, without the use of a sign to advertise the occupations, and which does not cause the generation of other than normal noise, and pedestrian and vehicular traffic.
- (10) Limited-Service Hotel. A building or group of buildings used as a temporary dwelling place for individuals in exchange of financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Hotel room units are accessed through doorways into an internal hallway, courtyard, or lobby. Financial consideration for hotel room units is generally calculated on a nightly basis.
- (11) Full-Service Hotel. A building or group of buildings designed for and occupied as a temporary dwelling place. Access to guestrooms shall be restricted exclusively to interior corridors, that shall be accessed via the main lobby of the building or entryways individually equipped with some form of security-controlled access system. Customary hotel services such as linen, maid service, telephone, and other guest amenities are provided and may also contain various personal service shops.
- (12) Residence Hotel. A building or group of buildings used as a temporary dwelling place for individuals in exchange for financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Residence hotel room units are designed to be suitable for long-term occupancy with financial consideration being calculated on a nightly, weekly, and/or monthly basis. Typical residence hotel attributes include, but are not limited to, kitchen facilities, two-story design, and external doorways into room units.
- (13) Motel. A building or group of buildings used as a temporary dwelling place for individuals in exchange for financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Each motel room unit has direct access to the outside. Financial consideration for motel room units is generally calculated on a nightly basis.
- (14) Multi-Family Structure or Development. A development consisting of at least three (3) single-family dwelling units grouped into a single building or multiple buildings on an individual parcel of land. Examples of a *Multi-Family*

*Development* include Triplexes, Quad or Fourplexes, apartments, condominiums, and etcetera.

- (15) Portable Building. A temporary building that may or may not have a foundation and is transportable.
- (16) Residential Infill in or Adjacent to an Established Subdivision. The new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.
- (17) Short-Term Rental. A *Short-Term Rental* is a residential dwelling unit, apartment, condominium, or *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. In practice, a *Short-Term Rental* is considered to be a residential land use, and is *not* considered to be a *Limited-Service Hotel, Full-Service Hotel, Residence Hotel, Motel, or Bed and Breakfast* as defined in this Unified Development Code (UDC). *Short-Term Rentals* can be further defined based on the following three (3) categories:
  - (a) Short-Term Rental (Owner-Occupied Single-Family Home, Townhome, or Duplex). A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (*i.e. occupies the primary structure*) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
  - (b) Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex). A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does *not* occupy the dwelling unit during the rental, or that the owner or property owner does *not* occupy another dwelling unit -- or portion thereof -- on the same property (*i.e. the property owner or operator is not on-site as an occupant during the rental of the property*).
  - (c) Short-Term Rental (Apartment or Condominium). An *Apartment or Condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC])* -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.
- ~~(17)~~(18) Single-Family Attached Structure. A single-family residential structure that is occupied by one (1) family and shares a common wall or walls with another single-family residential structure, but that is on an individual lot and can be conveyed individually (*i.e. one [1] dwelling unit per lot*).
- ~~(18)~~(19) Single-Family Detached Structure. A single-family residential structure that is occupied by one (1) family, is situated on a single parcel of land, does not share a common

**CHAPTER 13. RENTAL HOUSING**

**ARTICLE 1. IN GENERAL**

**SECTIONS 13-1 – 13-20. RESERVED**

**ARTICLE 2. SHORT-TERM RENTALS**

**SECTION 13-21. PURPOSE**

The purpose of this *article* is to minimize the impacts of *Short-Term Rentals* on the City of Rockwall's existing residential neighborhoods and buildings, and to provide regulations to preserve and protect the integrity of the City's residential districts while continuing to support the rights or property owners. In addition, the following sections are intended to provide a logical process for the registration, permitting, and inspection of *Short-Term Rentals*. The requirements of this *Article* apply only to the regulation of *Short-Term Rentals*, as defined herein; however, nothing in this *Article* shall be construed to be a waiver of the requirement to assess and collect the required *Hotel Occupancy Taxes* for any *Short-Term Rental* for less than 30 consecutive days, or any applicable provision of the City of Rockwall's Municipal Code of Ordinances.

**SECTION 13-22. DEFINITIONS**

*Hotel Occupancy Tax.* The *Hotel Occupancy Tax* as defined Article IV, *Hotel Occupancy Tax*, of Chapter 40, *Taxation*, of the City's of Rockwall's Municipal Code of Ordinance and Chapter 3, *Tax Administration*, of the Texas Tax Code.

*Responsible Party.* An individual other than the applicant, who resides within Rockwall County, and who is designated by the owner/applicant to act as the owner's authorized agent if the owner has traveled outside of the immediate area or is otherwise unavailable. The local emergency contact should be available on a 24-hour basis, have access to the *Short-Term Rental* property, and be authorized by the owner to act in the owner's absence to address any complaints, disturbances, emergencies and property conditions.

*Short-Term Rental.* A *Short-Term Rental* is a residential dwelling unit, apartment, condominium, *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. The term does not include: [1] a *Bed and Breakfast*; [2] a *Motel, Limited Service Hotel, Full-Service Hotel, or Residence Hotel*; [3] a *Boarding House*; [4] a place for residence or use as a licensed health care or *Assisted Living Facility*.

*Single-Family Residence.* As defined by the Municipal Code of Ordinances and in this *Article*, which includes the following:

- (1) *Single-Family Dwelling (Detached).* A dwelling designed and constructed for occupancy by one (1) family and located on a lot or separate building tract and having no physical connection to a building located on any other lot or tract, and which is located in a single-family zoning district or Planned Development District.
- (2) *Single-Family Dwelling (Attached).* A dwelling which is joined to another dwelling at one (1) or more sides by a party wall or abutting separate wall and which is designed for occupancy by one (1) family and which is located on a separate platted lot, delineated by front, side, and rear lot lines.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (3) Two Family Dwelling: A single structure designed a constructed with two (2) dwelling units under a single roof for occupancy by two (2) families, one (1) in each unit.
- (4) Condominium. The separate ownership of single dwelling units in a multiple unit structure/structures with common elements.
- (5) Multi-Family Dwelling or Apartment. Any building or portion of a building, which is designed, built, rented, leased, or let to be occupied as three (3) or more dwelling units or apartments or which is occupied as a home or place of residence by three (3) or more families living in independent dwelling units.

**SECTION 13-23. AUTHORITY**

The Director of Planning and Zoning and/or the Building Official shall implement and enforce the requirements of this *Article* and may by written order establish such procedures, rules, and or regulations -- *not inconsistent with the requirements of this Article or other City ordinances* -- necessary to implement the intent of this *Article*.

**SECTION 13-24. TYPES OF SHORT-TERM RENTALS**

The three (3) classifications of *Short-Term Rentals* shall be consistent with the definitions contained in [Article 13, Definitions, of the Unified Development Code \(UDC\)](#), and are further defined as follows:

- (a) Owner-Occupied Single-Family Home, Townhome, or Duplex. A *Short-Term Rental* under this classification shall be subject to the following conditions:
  - (1) The *Short-Term Rental* shall be for a period of time that is less than 30 consecutive days.
  - (2) A sleeping area must -- *at a minimum* -- include the shared use of a full bathroom.
  - (3) The property owner or *Responsible Party* is generally present on-site at the *Short-Term Rental Property* during the entire term of the rental.
  - (4) The *Short-Term Rental* may not operate without a *Short-Term Rental Permit* as required by Section 13-25, *Permit and Registration Requirements* of this *Article*.
- (b) Non-Owner-Occupied Single-Family Home, Townhome, or Duplex. A *Short-Term Rental* under this classification shall be subject to the following conditions:
  - (1) The *Short-Term Rental* shall be for a period of time that is less than 30 consecutive days.
  - (2) The *Short-Term Rental* shall be for the entire dwelling unit.
  - (3) The property owner or responsible party is not present on-site during the term of the rental of the *Short-Term Rental Property*.
  - (4) The *Short-Term Rental* may not operate without a *Short-Term Rental Permit* as required by Section 13-25, *Permit and Registration Requirements* of this *Article*.
- (c) Apartment or Condominium Unit. A *Short-Term Rental* under this classification shall be subject to the following conditions:
  - (1) The *Short-Term Rental* may be owner-occupied or non-owner-occupied.
  - (2) The *Short-Term Rental* shall be for a period of time that is less than 30 consecutive days.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (3) A sleeping area must -- *at a minimum* -- include the shared use of a full bathroom.
- (4) The property owner or responsible party may or may not be generally present on-site during the entire term of the rental of the *Short-Term Rental Property*.
- (5) The *Short-Term Rental* may not operate without a *Short-Term Rental Permit* as required by Section 13-25, *Permit and Registration Requirements* of this *Article*.

**SECTION 13-25. PERMIT AND REGISTRATION REQUIREMENTS**

- (a) Applicability. No person shall advertise, offer for rent or lease, establish or operate a *Short-Term Rental* on any property within the City of Rockwall without registering and being approved for a *Short-Term Rental Permit*. A *Short-Term Rental Permit* shall be required for each physical address, regardless of the ownership of the property or the physical attributes of the structure situated on the property (e.g. *the number of bedrooms, bathrooms, cooking facilities, etc.*).
- (b) Short-Term Rental Permit. An application for a *Short-Term Rental Permit* shall be submitted on a form provided by the City of Rockwall. A *Short-Term Rental Permit* shall be accompanied by an application fee of \$500.00, and shall include the following information:
  - (1) Ownership Information. The name, street address, email address, and telephone number of the owner of the *Short-Term Rental*, and verification if the *Short-Term Rental* is owner occupied (*i.e. the applicant's residence*). If the owner of the property is a partnership, a corporation, or limited liability company, the application shall list the names of all partners, directors, members, or officers -- *as applicable* -- of ownership entity.
  - (2) Responsible Party. The name, street address, email address, and telephone number of the *Responsible Party* (see [Section 13-28, Enforcement or Penalty](#)).
  - (3) Site Plan. A *Site Plan* showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
  - (4) Pictures. Pictures of the subject property showing the rear, front, and side yards of the subject property shall be provided. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities shall be provided.
  - (5) Self-Certification of Compliance. A sworn self-certification that the owner of the *Short-Term Rental* is in compliance with and will continue to comply with the standards and other requirements of this *Article*.
  - (6) Acknowledgement of this Article. Acknowledgement of receipt of a copy of this *Article* and agreement to comply with all provisions contained within this *Article* as a condition to receiving and consent to inspection while maintaining a *Short-Term Rental Permit*.
  - (7) Commercial Insurance. Each *Short-Term Rental* property shall be required to have general commercial insurance (*or an equivalent*) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00. The applicant for a *Short-Term Rental* shall provide a copy of the certificate of insurance which shows the name insured, any additional insureds, the location address, the effective date, the coverage limit and type. The owner must notify the City of Rockwall within 30 days if the insurance status changes and provide the City with the updated insurance information. The *Short-Term Rental Permit* shall be revoked in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this *Article* if updated insurance information is not provided.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (c) Completeness of Short-Term Rental Permit Application. Applications for a *Short-Term Rental Permit* shall not be considered complete until all documentation required by this *Article* has been submitted and accepted. Incomplete applications will not be accepted.
- (d) Acknowledgement by Applicant. As part of the submission of an application for a *Short-Term Rental Permit*, the property owner shall acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall under this *Article* does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- (e) Expiration of a Short-Term Rental Permit. Unless revoked by the City of Rockwall in accordance with [Section 13-29, Revocation, Suspension, or Denial of a Short-Term Rental Permit](#), of this *Article*, permits shall be valid for a period of three (3) years from the date the permit is issued.
- (f) Renewal of a Short-Term Rental Permit. 30-days prior to the expiration of a *Short-Term Rental Permit*, the property owner shall apply for the renewal of the *Short-Term Rental Permit* on a form provided by the City of Rockwall. Failure to submit an application 30-days prior to the expiration of the *Short-Term Rental*, shall cause all nonconforming rights to lapse and the application shall be treated as a new application subject to the requirements of this *Article* and [Article 04, Permissible Uses, of the Unified Development Code \(UDC\)](#).
- (g) Records. A property owner or operator of a *Short-Term Rental* shall keep detailed records showing each booking and the fees paid for each rental for at least three (3) years and make this information available to the City of Rockwall upon request.
- (h) Non-Transferability. A *Short-Term Rental Permit* is not transferable to another property owner or operator, or address or property. Any attempt to transfer the *Short-Term Rental Permit* shall result in the termination of the permit.

**SECTION 13-26. GENERAL STANDARDS FOR SHORT-TERM RENTALS**

All *Short-Term Rentals* permitted pursuant to this *Article* and the requirements of [Article 04, Permissible Uses, of the Unified Development Code \(UDC\)](#) shall be subject to the following general standards:

- (a) Advertising. All advertisements for a *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- shall include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- (b) Parking. Parking shall comply with the requirements of [Table 5: Parking Requirement Schedule of Article 06, Parking and Loading, of the Unified Development Code \(UDC\)](#); however, all parking shall be on an improved surface (*i.e. gravel, pavers, asphalt, or concrete*) and no parking shall be permitted on an unimproved surface (*e.g. grass, vegetation, soil, etc.*).
- (c) Evacuation Plan. For all *Short-Term Rentals* that are located within an apartment or condominium building that does not have direct access to the exterior of the building through the front door (*i.e. the primary exit exits to a shared hallway*), shall post an evacuation plan on the front door showing how to exit the building.
- (d) Temporary Structures. Temporary structures including -- *but not limited to* -- recreational vehicles/campers, vehicles intended for occupancy, tents, canopies/shade structures (*not permitted by the City of Rockwall*), or similar structures/vehicles shall not be utilized as *Short-Term Rentals*.

**Exhibit 'A'**  
*Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances*

- (e) Trash/Rubbish/Solid Waste. All trash, rubbish, and/or solid waste shall be completely contained within a City approved container (*i.e. a polycart or approved garbage can*), and no trash, rubbish, and/or solid waste -- *bagged or otherwise* -- shall be placed on the ground.
- (f) Signage. No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*. In addition, the property shall maintain compliance with [Chapter 32, Signs, of the Municipal Code of Ordinances](#).
- (g) Life Safety. The *Short-Term Rental* shall comply with the following *Life Safety* requirements:
- (1) A standard five (5) pound fire extinguisher (*i.e. 2A:10B:C*) shall be properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
  - (2) Operable smoke and carbon monoxide detectors shall be installed and conform to all applicable city codes.
  - (3) All bedrooms/sleeping areas shall have at least one (1) operable emergency point of ingress/egress for rescue and escape (*i.e. windows and/or doors*) in accordance with the City's adopted codes, regulations, and ordinances.
- (h) Conduct On-Premises.
- (1) The property owner and/or *Responsible Party* shall be responsible for informing all occupants of all relevant City of Rockwall codes and the occupants' liability for violating the City's codes.
  - (2) Excessive noise or other disturbance outside of the *Short-Term Rental* that are in violation of [Article IV, Noise, of Chapter 16, Environment, of the Municipal Code of Ordinances](#) shall be prohibited.
  - (3) No overnight sleeping outdoors or outdoor sleeping spaces shall be provided as part of the *Short-Term Rental*.
- (i) Tenant Notification. At a minimum, the property owner and/or responsible party shall post in a visible and obvious location of the *Short-Term Rental* the following information:
- (1) The property owner and/or responsible party's contact information and telephone number.
  - (2) Pertinent information -- *conforming to the general standards of this Article* -- including, but not limited to, the location of the required off-street parking or other available parking; the schedule, location and requirements regarding trash/rubbish/solid waste; and information regarding the conduct of guests on-premise.
  - (3) Information to assist guests in the case of an emergency that poses a threat to personal safety or property. This information should include emergency and non-emergency telephone numbers for police, fire, and medical services.
  - (4) A notice that failure to conform to the above listed requirements is a violation of the City of Rockwall's Municipal Code of Ordinances and that an owner, occupant, or visitor can be cited for violations of these requirements.
- (j) Hotel Occupancy Tax. The property owner or *Responsible Party* shall remit all applicable state, county and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and this *Article*.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

**SECTION 13-27. INSPECTIONS**

To ensure compliance with the requirements of this *Article* a *Short-Term Rental* may be inspected under the following circumstances:

- (1) Initial Inspection. As part of the issuance of a new *Short-Term Rental Permit* -- and any *reapplication thereof* --, the City shall conduct inspections to verify compliance with the requirements of this *Article*.
- (2) Inspections Upon Complaint or Suspicion of a Violation. The City of Rockwall may perform inspections when a violation is reported or suspected in accordance with the established code enforcement procedures.
- (3) Inspections for Owner Occupied Short-Term Rentals. If only a portion of the premises is offered for rent, then that portion plus any shared amenities and points of access shall be inspected.
- (4) Violations Resulting from Inspections. If upon completion of an inspection, the premises are found to be in violation of one (1) or more provisions of the applicable City codes and ordinances, the City shall provide written notice of such violations and shall set up a subsequent inspection and date for the violation to be corrected prior to its occupancy.

**SECTION 13-28. ENFORCEMENT OR PENALTY**

- (a) Operation without a Short-Term Rental Permit. A person commits an offense under this *Article* if a person owns or operates a *Short-Term Rental* without a valid *Short-Term Rental Permit*.
- (b) Responsible Party. The property owner or operator of the *Short-Term Rental* shall designate a *Responsible Party* for each *Short-Term Rental*. The *Responsible Party* is a local representative that resides in Rockwall County and who is available at all times the rental is in use. Should a law enforcement or Neighborhood Improvement Services (NIS) representative respond to a suspected violation at a *Short-Term Rental* and issue a citation, the *Responsible Party* shall be contacted. If applicable, the *Responsible Party* shall contact the occupants within one (1) hour of the issuance of a citation to notify them of the citation and attempt to remedy the situation. Should multiple citations or violations be issued this could result in the revocation of a *Short-Term Rental Permit* in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this *Article*. Failure to update the *Responsible Party* information associated with a *Short-Term Rental Permit* shall be a violation of this *Article*.
- (c) Admission to Premises. The Building Official or their designee may enforce the provisions of this *Article* upon presentation of proper identification to the occupant in charge of the *Short-Term Rental* and may enter -- *with the occupant's permission* -- any *Short-Term Rental* between the hours of 8:00 AM and 6:00 PM; provided, however, that in cases of emergency where extreme hazards are known to exist, which may involve imminent injury to persons, loss of life, or severe property damage, the Building Official or their designee may enter the *Short-Term Rental* at any time and upon presentation of identification and the occupant's permission shall not apply. Whenever the Building Official is denied admission to inspect any *Short-Term Rental* under this provision, inspection shall be made only under the authority of a warrant issued by a magistrate authorizing the inspection.
- (d) Violations. Violation of the terms and conditions for *Short-Term Rentals* contained under this *Article* shall be punishable by a fine of not less than \$500.00, but not more than \$2,000.00 per offense. Penalties for other violations of the City of Rockwall's codes shall be as applicable. Each day a violation of this *Article* continues shall be considered a separate offense, and -- *upon conviction* -- shall be subject to a fine of \$500.00 to a maximum of \$2,000.00 per violation, per day. In addition, violations of any section of this article or any of the City of Rockwall's codes are deemed to be a



**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

violation and may result in the revocation of a *Short-Term Rental Permit* in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this Article.

- (e) *Failure to Pay Hotel Occupancy Tax*. Failure to timely pay any applicable hotel occupancy tax is a violation of this Article. If arrearage is not paid within 90-days of the issuance of a delinquency notice the *Short-Term Rental Permit* shall be revoked in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this Article.

**SECTION 13-29. REVOCATION OR SUSPENSION OF A SHORT-TERM RENTAL PERMIT**

- (a) *Revocation or Suspension Due to Error or False Information*. The Director of Planning and Zoning and/or the Building Official is authorized to suspend or revoke a *Short-Term Rental Permit* issued under the provisions of this Article if it is found that the *Short-Term Rental Permit* was issued in error, the property owner fails to pay hotel occupancy tax, or if it is determined that the property owner or applicant of a *Short-Term Rental Permit* made a false statement of material fact on an application for the permit.
- (b) *Revocation Due to Violation*. The Director of Planning and Zoning and/or the Building Official is authorized to revoke a *Short-Term Rental Permit* after three (3) violations have occurred in any consecutive 12-month period or when a property owner fails to correct a violation within the specified time period. For the purposes of this section, a violation shall be defined as any violation of the requirements of this Article or Article XII, *Property Maintenance Code*, of the Municipal Code of Ordinance.
- (c) *Revocation Process*. Upon a determination to revoke a *Short-Term Rental Permit*, the Director of Planning and Zoning and/or the Building Official shall notify the property owner of the decision to revoke and the effective date of the revocation in writing within ten (10) days of the determination.
- (d) *Reapplication After Revocation*. If a *Short-Term Rental Permit* is revoked, the property owner may not submit a new application for a *Short-Term Rental Permit* for the same property for a period of 12-months from the date of revocation.
- (e) *Permanent Revocation*. A *Short-Term Rental Permit* holder may be subject to permanent revocation if their *Short-Term Rental Permit* is revoked two (2) time due to violations of this Article or other violations to the City's safety, health, and general welfare ordinances.

**SECTION 13-30. APPEALS**

If the Director of Planning and Zoning and/or the Building Official denies the issuance or renewal of a *Short-Term Rental Permit* or revokes or suspends an existing *Short-Term Rental Permit* issued under this Article, the property owner may appeal the decision to the Board of Adjustments (BOA) in accordance [Subsection 04.03\(A\)\(1\) of Article 02, Development Review Authority, of the Unified Development Code \(UDC\)](#).

**SECTION 13-31. NONCONFORMING RIGHTS**

*Short-Term Rentals* existing prior to **April 1, 2024** shall be considered vested or legally nonconforming (see the requirements of Subsection 06.05, *Non-Conforming Short-Term Rentals*, of Article 04, *Permissible Uses*, of the Unified Development Code [UDC]) if they register as such through the *Short-Term Rental Permit* process outlined in this Article by **June 30, 2024**. *Short-Term Rental Permits* and registration is not transferable to another property owner or operator, or address or location. Nonconforming rights also shall not transfer with change of ownership, and any *Short-Term Rental Permit* shall be void upon change of ownership. Notwithstanding the foregoing, the conveyance or

**Exhibit 'A'**  
*Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances*

transfer of a unit or property ownership to a legal entity controlled by or providing equitable ownership of the prior owner shall not constitute a change in ownership, provided that the new property owner: [1] apply for a new *Short-Term Rental Permit* in accordance with the terms of this *Article*, and [2] provide evidence to satisfactorily prove that the ownership did not change. Under this circumstance the property owner may maintain the nonconforming rights.



# SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall  
Neighborhood Improvement Services (NIS) Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY	
RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

## ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- \_\_\_\_\_ I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- \_\_\_\_\_ I acknowledge that if three (3) violations/citations occur in any consecutive six (6) month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for six (6) months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- \_\_\_\_\_ I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- \_\_\_\_\_ I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- \_\_\_\_\_ I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

## REGISTRATION TYPE

New Registration |  Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024?  Yes |  No

## PROPERTY INFORMATION [PLEASE PRINT]

Address		Zoning	
Subdivision		Lot	Block
General Location			

## TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM). An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

## PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					

## RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name		Phone			
Mailing Address		City	State	Zip Code	
Email					



# SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall  
Neighborhood Improvement Services (NIS) Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE. A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN. A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES. Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures - one (1) per each façade of a structure -- and any on-site amenities.
- COMMERCIAL INSURANCE. Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.000.

## GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING. All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING. The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN. [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES. There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE. There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- bagged or otherwise -- placed on the ground.
- SIGNAGE. No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER. A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS. Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS. All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMODATION. There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION. The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the *Responsible Party's* contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

## PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PROPERTY OWNER'S SIGNATURE

[Redacted signature area]

[Redacted notary seal area]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

[Redacted commission expiration date area]

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE MUNICIPAL CODE OF ORDINANCES AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY CREATING CHAPTER 13, *RENTAL HOUSING*, OF THE MUNICIPAL CODE OF ORDINANCES AND AMENDING ARTICLE 04, *PERMISSIBLE USES*, AND ARTICLE 13, *DEFINITIONS*, OF THE UNIFIED DEVELOPMENT CODE (UDC) AS DEPCITED IN *EXHIBITS 'A', 'B', & 'C'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City Council has determined that regulations are needed to address regulations for *Short-Term Rentals*; and,

**WHEREAS**, the operation of *Short-Term Rentals* should not negatively affect property values and the *Short-Term Rentals* should be required to pay Hotel Occupancy Taxes; and,

**WHEREAS**, the City Council has determined that regulations needed are intended to protect the health, safety, morals, and general welfare of the general public; and,

**WHEREAS**, an amendment to the City of Rockwall's Municipal Code of Ordinances and the Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to establish Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances and amend Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of establishing definitions, regulations, and requirements for *Short-Term Rentals*; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Municipal Code of Ordinances and the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances of the City of Rockwall, as heretofore amended, be and the same is established and hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

**SECTION 2.** That Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'B'* of this ordinance;

**SECTION 3.** That Article 13, *Definitions*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'C'* of this ordinance;

**SECTION 4.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Municipal Code of Ordinances and/or Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 6.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF APRIL, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

*1<sup>st</sup> Reading: March 18, 2024*

*2<sup>nd</sup> Reading: April 1, 2024*

**CHAPTER 13. RENTAL HOUSING**

**ARTICLE 1. IN GENERAL**

**SECTIONS 13-1 – 13-20. RESERVED**

**ARTICLE 2. SHORT-TERM RENTALS**

**SECTION 13-21. PURPOSE**

The purpose of this *article* is to minimize the impacts of *Short-Term Rentals* on the City of Rockwall's existing residential neighborhoods and buildings, and to provide regulations to preserve and protect the integrity of the City's residential districts while continuing to support the rights or property owners. In addition, the following sections are intended to provide a logical process for the registration, permitting, and inspection of *Short-Term Rentals*. The requirements of this *Article* apply only to the regulation of *Short-Term Rentals*, as defined herein; however, nothing in this *Article* shall be construed to be a waiver of the requirement to assess and collect the required *Hotel Occupancy Taxes* for any *Short-Term Rental* for less than 30 consecutive days, or any applicable provision of the City of Rockwall's Municipal Code of Ordinances.

**SECTION 13-22. DEFINITIONS**

*Hotel Occupancy Tax.* The *Hotel Occupancy Tax* as defined Article IV, *Hotel Occupancy Tax*, of Chapter 40, *Taxation*, of the City's of Rockwall's Municipal Code of Ordinance and Chapter 3, *Tax Administration*, of the Texas Tax Code.

*Responsible Party.* An individual other than the applicant, who resides within Rockwall County, and who is designated by the owner/applicant to act as the owner's authorized agent if the owner has traveled outside of the immediate area or is otherwise unavailable. The local emergency contact should be available on a 24-hour basis, have access to the *Short-Term Rental* property, and be authorized by the owner to act in the owner's absence to address any complaints, disturbances, emergencies and property conditions.

*Short-Term Rental.* A *Short-Term Rental* is a residential dwelling unit, apartment, condominium, *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. The term does not include: [1] a *Bed and Breakfast*; [2] a *Motel, Limited Service Hotel, Full-Service Hotel, or Residence Hotel*; [3] a *Boarding House*; [4] a place for residence or use as a licensed health care or *Assisted Living Facility*.

*Single-Family Residence.* As defined by the Municipal Code of Ordinances and in this *Article*, which includes the following:

- (1) *Single-Family Dwelling (Detached).* A dwelling designed and constructed for occupancy by one (1) family and located on a lot or separate building tract and having no physical connection to a building located on any other lot or tract, and which is located in a single-family zoning district or Planned Development District.
- (2) *Single-Family Dwelling (Attached).* A dwelling which is joined to another dwelling at one (1) or more sides by a party wall or abutting separate wall and which is designed for occupancy by one (1) family and which is located on a separate platted lot, delineated by front, side, and rear lot lines.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (3) Two Family Dwelling: A single structure designed a constructed with two (2) dwelling units under a single roof for occupancy by two (2) families, one (1) in each unit.
- (4) Condominium. The separate ownership of single dwelling units in a multiple unit structure/structures with common elements.
- (5) Multi-Family Dwelling or Apartment. Any building or portion of a building, which is designed, built, rented, leased, or let to be occupied as three (3) or more dwelling units or apartments or which is occupied as a home or place of residence by three (3) or more families living in independent dwelling units.

**SECTION 13-23. AUTHORITY**

The Director of Planning and Zoning and/or the Building Official shall implement and enforce the requirements of this *Article* and may by written order establish such procedures, rules, and or regulations -- *not inconsistent with the requirements of this Article or other City ordinances* -- necessary to implement the intent of this *Article*.

**SECTION 13-24. TYPES OF SHORT-TERM RENTALS**

The three (3) classifications of *Short-Term Rentals* shall be consistent with the definitions contained in [Article 13, Definitions, of the Unified Development Code \(UDC\)](#), and are further defined as follows:

- (a) Owner-Occupied Single-Family Home, Townhome, or Duplex. A *Short-Term Rental* under this classification shall be subject to the following conditions:
  - (1) The *Short-Term Rental* shall be for a period of time that is less than 30 consecutive days.
  - (2) A sleeping area must -- *at a minimum* -- include the shared use of a full bathroom.
  - (3) The property owner or *Responsible Party* is generally present on-site at the *Short-Term Rental Property* during the entire term of the rental.
  - (4) The *Short-Term Rental* may not operate without a *Short-Term Rental Permit* as required by Section 13-25, *Permit and Registration Requirements* of this *Article*.
- (b) Non-Owner-Occupied Single-Family Home, Townhome, or Duplex. A *Short-Term Rental* under this classification shall be subject to the following conditions:
  - (1) The *Short-Term Rental* shall be for a period of time that is less than 30 consecutive days.
  - (2) The *Short-Term Rental* shall be for the entire dwelling unit.
  - (3) The property owner or responsible party is not present on-site during the term of the rental of the *Short-Term Rental Property*.
  - (4) The *Short-Term Rental* may not operate without a *Short-Term Rental Permit* as required by Section 13-25, *Permit and Registration Requirements* of this *Article*.
- (c) Apartment or Condominium Unit. A *Short-Term Rental* under this classification shall be subject to the following conditions:
  - (1) The *Short-Term Rental* may be owner-occupied or non-owner-occupied.
  - (2) The *Short-Term Rental* shall be for a period of time that is less than 30 consecutive days.



**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (3) A sleeping area must -- *at a minimum* -- include the shared use of a full bathroom.
- (4) The property owner or responsible party may or may not be generally present on-site during the entire term of the rental of the *Short-Term Rental Property*.
- (5) The *Short-Term Rental* may not operate without a *Short-Term Rental Permit* as required by Section 13-25, *Permit and Registration Requirements* of this Article.

**SECTION 13-25. PERMIT AND REGISTRATION REQUIREMENTS**

- (a) Applicability. No person shall advertise, offer for rent or lease, establish or operate a *Short-Term Rental* on any property within the City of Rockwall without registering and being approved for a *Short-Term Rental Permit*. A *Short-Term Rental Permit* shall be required for each physical address, regardless of the ownership of the property or the physical attributes of the structure situated on the property (e.g. *the number of bedrooms, bathrooms, cooking facilities, etc.*).
- (b) Short-Term Rental Permit. An application for a *Short-Term Rental Permit* shall be submitted on a form provided by the City of Rockwall. A *Short-Term Rental Permit* shall be accompanied by an application fee of \$500.00, and shall include the following information:
  - (1) Ownership Information. The name, street address, email address, and telephone number of the owner of the *Short-Term Rental*, and verification if the *Short-Term Rental* is owner occupied (*i.e. the applicant's residence*). If the owner of the property is a partnership, a corporation, or limited liability company, the application shall list the names of all partners, directors, members, or officers -- *as applicable* -- of ownership entity.
  - (2) Responsible Party. The name, street address, email address, and telephone number of the *Responsible Party* (see [Section 13-28, Enforcement or Penalty](#)).
  - (3) Site Plan. A *Site Plan* showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
  - (4) Pictures. Pictures of the subject property showing the rear, front, and side yards of the subject property shall be provided. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities shall be provided.
  - (5) Self-Certification of Compliance. A sworn self-certification that the owner of the *Short-Term Rental* is in compliance with and will continue to comply with the standards and other requirements of this Article.
  - (6) Acknowledgement of this Article. Acknowledgement of receipt of a copy of this Article and agreement to comply with all provisions contained within this Article as a condition to receiving and consent to inspection while maintaining a *Short-Term Rental Permit*.
  - (7) Commercial Insurance. Each *Short-Term Rental* property shall be required to have general commercial insurance (*or an equivalent*) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00. The applicant for a *Short-Term Rental* shall provide a copy of the certificate of insurance which shows the name insured, any additional insureds, the location address, the effective date, the coverage limit and type. The owner must notify the City of Rockwall within 30 days if the insurance status changes and provide the City with the updated insurance information. The *Short-Term Rental Permit* shall be revoked in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this Article if updated insurance information is not provided.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (c) Completeness of Short-Term Rental Permit Application. Applications for a *Short-Term Rental Permit* shall not be considered complete until all documentation required by this *Article* has been submitted and accepted. Incomplete applications will not be accepted.
- (d) Acknowledgement by Applicant. As part of the submission of an application for a *Short-Term Rental Permit*, the property owner shall acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall under this *Article* does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- (e) Expiration of a Short-Term Rental Permit. Unless revoked by the City of Rockwall in accordance with [Section 13-29, Revocation, Suspension, or Denial of a Short-Term Rental Permit](#), of this *Article*, permits shall be valid for a period of three (3) years from the date the permit is issued.
- (f) Renewal of a Short-Term Rental Permit. 30-days prior to the expiration of a *Short-Term Rental Permit*, the property owner shall apply for the renewal of the *Short-Term Rental Permit* on a form provided by the City of Rockwall. Failure to submit an application 30-days prior to the expiration of the *Short-Term Rental*, shall cause all nonconforming rights to lapse and the application shall be treated as a new application subject to the requirements of this *Article* and [Article 04, Permissible Uses, of the Unified Development Code \(UDC\)](#).
- (g) Records. A property owner or operator of a *Short-Term Rental* shall keep detailed records showing each booking and the fees paid for each rental for at least three (3) years and make this information available to the City of Rockwall upon request.
- (h) Non-Transferability. A *Short-Term Rental Permit* is not transferable to another property owner or operator, or address or property. Any attempt to transfer the *Short-Term Rental Permit* shall result in the termination of the permit.

**SECTION 13-26. GENERAL STANDARDS FOR SHORT-TERM RENTALS**

All *Short-Term Rentals* permitted pursuant to this *Article* and the requirements of [Article 04, Permissible Uses, of the Unified Development Code \(UDC\)](#) shall be subject to the following general standards:

- (a) Advertising. All advertisements for a *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- shall include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- (b) Parking. Parking shall comply with the requirements of [Table 5: Parking Requirement Schedule of Article 06, Parking and Loading, of the Unified Development Code \(UDC\)](#); however, all parking shall be on an improved surface (*i.e. gravel, pavers, asphalt, or concrete*) and no parking shall be permitted on an unimproved surface (*e.g. grass, vegetation, soil, etc.*).
- (c) Evacuation Plan. For all *Short-Term Rentals* that are located within an apartment or condominium building that does not have direct access to the exterior of the building through the front door (*i.e. the primary exit exits to a shared hallway*), shall post an evacuation plan on the front door showing how to exit the building.
- (d) Temporary Structures. Temporary structures including -- *but not limited to* -- recreational vehicles/campers, vehicles intended for occupancy, tents, canopies/shade structures (*not permitted by the City of Rockwall*), or similar structures/vehicles shall not be utilized as *Short-Term Rentals*.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

- (e) Trash/Rubbish/Solid Waste. All trash, rubbish, and/or solid waste shall be completely contained within a City approved container (*i.e. a polycart or approved garbage can*), and no trash, rubbish, and/or solid waste -- *bagged or otherwise* -- shall be placed on the ground.
- (f) Signage. No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*. In addition, the property shall maintain compliance with [Chapter 32, Signs, of the Municipal Code of Ordinances](#).
- (g) Life Safety. The *Short-Term Rental* shall comply with the following *Life Safety* requirements:
- (1) A standard five (5) pound fire extinguisher (*i.e. 2A:10B:C*) shall be properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
  - (2) Operable smoke and carbon monoxide detectors shall be installed and conform to all applicable city codes.
  - (3) All bedrooms/sleeping areas shall have at least one (1) operable emergency point of ingress/egress for rescue and escape (*i.e. windows and/or doors*) in accordance with the City's adopted codes, regulations, and ordinances.
- (h) Conduct On-Premises.
- (1) The property owner and/or *Responsible Party* shall be responsible for informing all occupants of all relevant City of Rockwall codes and the occupants' liability for violating the City's codes.
  - (2) Excessive noise or other disturbance outside of the *Short-Term Rental* that are in violation of [Article IV, Noise, of Chapter 16, Environment, of the Municipal Code of Ordinances](#) shall be prohibited.
  - (3) No overnight sleeping outdoors or outdoor sleeping spaces shall be provided as part of the *Short-Term Rental*.
- (i) Tenant Notification. At a minimum, the property owner and/or responsible party shall post in a visible and obvious location of the *Short-Term Rental* the following information:
- (1) The property owner and/or responsible party's contact information and telephone number.
  - (2) Pertinent information -- *conforming to the general standards of this Article* -- including, but not limited to, the location of the required off-street parking or other available parking; the schedule, location and requirements regarding trash/rubbish/solid waste; and information regarding the conduct of guests on-premise.
  - (3) Information to assist guests in the case of an emergency that poses a threat to personal safety or property. This information should include emergency and non-emergency telephone numbers for police, fire, and medical services.
  - (4) A notice that failure to conform to the above listed requirements is a violation of the City of Rockwall's Municipal Code of Ordinances and that an owner, occupant, or visitor can be cited for violations of these requirements.
- (j) Hotel Occupancy Tax. The property owner or *Responsible Party* shall remit all applicable state, county and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and this *Article*.

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

**SECTION 13-27. INSPECTIONS**

To ensure compliance with the requirements of this *Article* a *Short-Term Rental* may be inspected under the following circumstances:

- (1) Initial Inspection. As part of the issuance of a new *Short-Term Rental Permit* -- and any *reapplication thereof* --, the City shall conduct inspections to verify compliance with the requirements of this *Article*.
- (2) Inspections Upon Complaint or Suspicion of a Violation. The City of Rockwall may perform inspections when a violation is reported or suspected in accordance with the established code enforcement procedures.
- (3) Inspections for Owner Occupied Short-Term Rentals. If only a portion of the premises is offered for rent, then that portion plus any shared amenities and points of access shall be inspected.
- (4) Violations Resulting from Inspections. If upon completion of an inspection, the premises are found to be in violation of one (1) or more provisions of the applicable City codes and ordinances, the City shall provide written notice of such violations and shall set up a subsequent inspection and date for the violation to be corrected prior to its occupancy.

**SECTION 13-28. ENFORCEMENT OR PENALTY**

- (a) Operation without a Short-Term Rental Permit. A person commits an offense under this *Article* if a person owns or operates a *Short-Term Rental* without a valid *Short-Term Rental Permit*.
- (b) Responsible Party. The property owner or operator of the *Short-Term Rental* shall designate a *Responsible Party* for each *Short-Term Rental*. The *Responsible Party* is a local representative that resides in Rockwall County and who is available at all times the rental is in use. Should a law enforcement or Neighborhood Improvement Services (NIS) representative respond to a suspected violation at a *Short-Term Rental* and issue a citation, the *Responsible Party* shall be contacted. If applicable, the *Responsible Party* shall contact the occupants within one (1) hour of the issuance of a citation to notify them of the citation and attempt to remedy the situation. Should multiple citations or violations be issued this could result in the revocation of a *Short-Term Rental Permit* in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this *Article*. Failure to update the *Responsible Party* information associated with a *Short-Term Rental Permit* shall be a violation of this *Article*.
- (c) Admission to Premises. The Building Official or their designee may enforce the provisions of this *Article* upon presentation of proper identification to the occupant in charge of the *Short-Term Rental* and may enter -- *with the occupant's permission* -- any *Short-Term Rental* between the hours of 8:00 AM and 6:00 PM; provided, however, that in cases of emergency where extreme hazards are known to exist, which may involve imminent injury to persons, loss of life, or severe property damage, the Building Official or their designee may enter the *Short-Term Rental* at any time and upon presentation of identification and the occupant's permission shall not apply. Whenever the Building Official is denied admission to inspect any *Short-Term Rental* under this provision, inspection shall be made only under the authority of a warrant issued by a magistrate authorizing the inspection.
- (d) Violations. Violation of the terms and conditions for *Short-Term Rentals* contained under this *Article* shall be punishable by a fine of not less than \$500.00, but not more than \$2,000.00 per offense. Penalties for other violations of the City of Rockwall's codes shall be as applicable. Each day a violation of this *Article* continues shall be considered a separate offense, and -- *upon conviction* -- shall be subject to a fine of \$500.00 to a maximum of \$2,000.00 per violation, per day. In addition, violations of any section of this article or any of the City of Rockwall's codes are deemed to be a

**Exhibit 'A'**  
Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances

violation and may result in the revocation of a *Short-Term Rental Permit* in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this Article.

- (e) *Failure to Pay Hotel Occupancy Tax*. Failure to timely pay any applicable hotel occupancy tax is a violation of this Article. If arrearage is not paid within 90-days of the issuance of a delinquency notice the *Short-Term Rental Permit* shall be revoked in accordance with Section 13-29, *Revocation or Suspension of a Short-Term Rental Permit*, of this Article.

**SECTION 13-29. REVOCATION OR SUSPENSION OF A SHORT-TERM RENTAL PERMIT**

- (a) *Revocation or Suspension Due to Error or False Information*. The Director of Planning and Zoning and/or the Building Official is authorized to suspend or revoke a *Short-Term Rental Permit* issued under the provisions of this Article if it is found that the *Short-Term Rental Permit* was issued in error, the property owner fails to pay hotel occupancy tax, or if it is determined that the property owner or applicant of a *Short-Term Rental Permit* made a false statement of material fact on an application for the permit.
- (b) *Revocation Due to Violation*. The Director of Planning and Zoning and/or the Building Official is authorized to revoke a *Short-Term Rental Permit* after three (3) violations have occurred in any consecutive 12-month period or when a property owner fails to correct a violation within the specified time period. For the purposes of this section, a violation shall be defined as any violation of the requirements of this Article or Article XII, *Property Maintenance Code*, of the Municipal Code of Ordinance.
- (c) *Revocation Process*. Upon a determination to revoke a *Short-Term Rental Permit*, the Director of Planning and Zoning and/or the Building Official shall notify the property owner of the decision to revoke and the effective date of the revocation in writing within ten (10) days of the determination.
- (d) *Reapplication After Revocation*. If a *Short-Term Rental Permit* is revoked, the property owner may not submit a new application for a *Short-Term Rental Permit* for the same property for a period of 12-months from the date of revocation.
- (e) *Permanent Revocation*. A *Short-Term Rental Permit* holder may be subject to permanent revocation if their *Short-Term Rental Permit* is revoked two (2) time due to violations of this Article or other violations to the City's safety, health, and general welfare ordinances.

**SECTION 13-30. APPEALS**

If the Director of Planning and Zoning and/or the Building Official denies the issuance or renewal of a *Short-Term Rental Permit* or revokes or suspends an existing *Short-Term Rental Permit* issued under this Article, the property owner may appeal the decision to the Board of Adjustments (BOA) in accordance [Subsection 04.03\(A\)\(1\) of Article 02, Development Review Authority, of the Unified Development Code \(UDC\)](#).

**SECTION 13-31. NONCONFORMING RIGHTS**

*Short-Term Rentals* existing prior to **April 1, 2024** shall be considered vested or legally nonconforming (see the requirements of Subsection 06.05, *Non-Conforming Short-Term Rentals*, of Article 04, *Permissible Uses*, of the Unified Development Code [UDC]) if they register as such through the *Short-Term Rental Permit* process outlined in this Article by **June 30, 2024**. *Short-Term Rental Permits* and registration is not transferable to another property owner or operator, or address or location. Nonconforming rights also shall not transfer with change of ownership, and any *Short-Term Rental Permit* shall be void upon change of ownership. Notwithstanding the foregoing, the conveyance or

**Exhibit 'A'**  
*Chapter 13, Rental Housing,  
of the Municipal Code of Ordinances*

transfer of a unit or property ownership to a legal entity controlled by or providing equitable ownership of the prior owner shall not constitute a change in ownership, provided that the new property owner: [1] apply for a new *Short-Term Rental Permit* in accordance with the terms of this *Article*, and [2] provide evidence to satisfactorily prove that the ownership did not change. Under this circumstance the property owner may maintain the nonconforming rights.

DRAFT  
ORDINANCE  
02.27.2024

**Exhibit 'B'**  
*Article 04, Permissible Uses, of the  
Unified Development Code (UDC)*

See Next Page ...

DRAFT  
ORDINANCE  
02.27.2024



- (E) A Bed and Breakfast shall be subject to an annual inspection by the Fire Department.
- (F) All applicable hotel/motel taxes shall be paid.
- (G) The maximum length of a guests stay is shall be limited to 14 consecutive days in any 30-day period.
- (H) A Specific Use Permit (SUP) for a Bed and Breakfast shall be reviewed six (6) months after the adoption of the Specific Use Permit (SUP) and annually thereafter unless otherwise stipulated by the Specific Use Permit (SUP) ordinance.
- (3) Duplex.
- (A) Duplexes shall be limited to two (2) dwelling units (i.e. two [2] families) per lot or parcel of land.
- (B) See the standards for the Two-Family (2F) District [Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.](#)
- (4) Attached Garage.
- (A) See [Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards.](#)
- (5) Detached Garage.
- (A) See [Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards.](#)
- (6) Guest Quarters/Secondary Living Unit.
- (A) Guest Quarters or Secondary Living Units may be allowed on a property in a residential zoning district provided that it is ancillary to a single-family home.
- (B) The area of such quarters shall not exceed 30% of the area of the main structure.
- (C) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.
- (D) Guest Quarters or Secondary Living Units not meeting the requirements stated above shall require a Specific Use Permit (SUP).
- (7) Home Occupation.
- (A) The Home Occupation use must clearly be incidental and secondary to the primary use of the property as a residence.
- (B) No person outside the family may be employed in the Home Occupation use.
- (C) There shall be no exterior display, signage, exterior storage of materials, and/or other exterior indication of the Home Occupation use or variation from the residential character of the principal building.
- (D) No traffic shall be generated by such Home Occupation than would normally be expected in the neighborhood.
- (E) No nuisance, offensive noise, vibration, smoke, dust, odors, heat, glare, or electrical disturbance shall be generated.
- (F) A Home Occupation may not be interpreted to include facilities for the repair of motor vehicles, repair of small motors, or a daycare center.
- (8) Full-Service Hotel.
- (A) The minimum room count for a Full-Service Hotel shall be 250-rooms.
- (B) Each guestroom shall have a minimum square footage of 380 SF.
- (C) A Full-Service Hotel shall have a full-service restaurant and kitchen that provides service to the general public.
- (D) A Full-Service Hotel shall have staff that is present 24-hours a day, seven (7) days a week.
- (E) A Full-Service Hotel shall have the following minimum amenities: [1] a minimum 10,000 SF meeting or conference room, and [2] a swimming pool with a minimum area of 1,000 SF.
- (9) Multi-Family Structure or Development.
- (A) See [Subsection 07.02, Multi-Family District Development Standards, of Article 05, District Development Standards.](#)
- (10) Portable Building.
- (A) See [Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards.](#)
- (11) Residential Infill in or Adjacent to an Established Subdivision.
- (A) For the purposes of this Article, an Established Subdivision shall be defined as a subdivision that consists of five (5) or more lots, that is 90% or more developed, and that has been in existence for more than ten (10) years.
- (B) All proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located with 500-feet of an Established Subdivision shall be required to apply for a Specific Use Permit (SUP).
- (C) As part of the Specific Use Permit (SUP) request the applicant shall be required to submit a residential plot plan or site plan, landscape plans, and building elevations of the proposed home.
- (D) In reviewing the proposed Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision.
- (E) All housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision.
- (12) Short-Term Rental (Owner-Occupied Single-Family Home, Townhome, or Duplex).
- (A) The Short-Term Rental shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. Banquet Facility/Event Hall which





includes meeting halls and wedding venues) as stipulated by the *Permissible Use Charts* contained within this Article.

- (B) In order to establish and operate a *Short-Term Rental (Owner Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

(13) Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).

- (A) *Short-Term Rentals* that are *Non-Owner-Occupied* shall not be located within 500-feet of another *Short-Term Rental* that is *Non-Owner Occupied*; however, *Short-Term Rentals* that were in existence prior to **April 1, 2024** that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of this Article, and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to **June 30, 2024** shall be exempted from the proximity requirements.

- (B) *Short-Term Rentals* that are *Non-Owner-Occupied* that do not meet proximity requirements may be considered on a *case-by-case* basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a *Short-Term Rental* that is *Non-Owner-Occupied* the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing *Short-Term Rentals* on the adjacent residential properties and their occupants.

- (C) The *Short-Term Rental* shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. *Banquet Facility/Event Hall* which includes meeting halls and wedding venues) as stipulated by the *Permissible Use Charts* contained within this Article.

- (D) In order to establish and operate a *Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

(14) Short-Term Rental (Apartment or Condominium).

- (A) The number of *Short-Term Rentals* permitted within an *Apartment Complex, Condominium Building,* or any other multi-family structure -- as defined by this land use in Article 13, Definitions, of this Unified Development Code (UDC) -- shall be limited to a total of five (5) percent of the total units situated on a single parcel of land. For example, if a *Condominium Building* consisted of 100-units on a single parcel of land, a total of five (5) of the units could be established as *Short-Term Rentals.* In

cases where there is a remainder in the number of units, the number of units shall round up (e.g.  $25\text{-Units} \times 5.00\% = 1.25\text{-Units}$  or  $2\text{-Units}$ ).

- (B) In order to establish and operate a *Short-Term Rental (Apartment or Condominium)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

~~(12)~~(15) Single-Family Attached Structure.

- (A) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (B) See Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(13)~~(16) Single-Family Detached Structure.

- (A) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (B) See Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(14)~~(17) Single-Family Zero Lot Line Structure.

- (A) A five (5) foot maintenance easement is required on the non-zero-lot-line side of the structure.

- (B) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (C) See Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(15)~~(18) Townhouse.

- (A) See Section 03, Residential Districts, of Article 05, District Development Standards.

- (B) See the standards for the Two-Family (2F) District Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards.

~~(16)~~(19) Urban Residential.

- (A) Urban Residential includes residential development that at least partly face streets, public sidewalks, or common open space, and/or which are located above retail, office or service uses.

- (B) Ground floor urban residential should have direct access to a sidewalk via a stoop or landing, and a majority of parking should be located in a structure.

(C) Institutional and Community Service Land Uses.

(1) Assisted Living Facility.

- (A) These facilities shall include establishments that accommodate seven (7) or more residents. For facilities with six (6) or fewer residents see Group or Community Home in Subsection 02.03(C)(5).

(2) Church/House of Worship.



designated use of any development, structure, or part thereof, where official approval and the required building permits were granted before the enactment of this Unified Development Code (UDC), or any amendment thereto, where construction, conforming with the plans, shall have been started prior to the effective date of the ordinance from which this Unified Development Code is derived or such amendment, and where such construction shall have been completed in a normal manner within the subsequent 12-month period, with no interruption, except for reasons beyond the builder's control.

- (D) Damage Due to Acts of God. Any non-conforming structure which is damaged more than 75% of its then appraised tax value above the foundation, by fire, flood, explosion, wind, earthquake, war, riot or other calamity or act of God, shall not be restored or reconstructed and used as it was before the damaging event. If such structure is damaged less than 75% of its then appraised tax value above the foundation, it may be restored, reconstructed, or used as before, provided that the restoration or reconstruction is completed within 12 months of the damaging event. The 12-month period does not include any necessary litigation.
- (E) Repair of Unsafe Buildings, Structures and Sites. Nothing in this Unified Development Code (UDC) shall be construed to prohibit the strengthening or repair of any part of any building or structure declared unsafe by proper authority, unless such repairs exceed 50% of the replacement cost of the building. If the repairs exceed 50%, the building shall be brought into conformity with all requirements of the zoning district in which it is located.
- (F) General Repairs and Maintenance.
- (1) On any non-conforming structure or portion of a structure containing a non-conforming use, no work may be done in any period of 12 consecutive months on ordinary repairs, or on repair or replacement of non-load-bearing walls, fixture, wiring, or plumbing to an extent exceeding ten (10) percent of the current replacement cost of the non-conforming structure or non-conforming portion of the structure as the case may be.
  - (2) If 50% or more of a non-conforming structure containing a non-conforming use becomes physically unsafe or unlawful due to lack of repairs or maintenance, and is declared by a duly authorized official to be unsafe or unlawful by reason of physical condition, it shall not thereafter be restored, repaired or rebuilt except in conformity with the regulations of the district in which it is located.
- (G) Moving of a Non-conforming Building or Structure. No non-conforming building or structure shall be moved in whole or in part to any other location on the lot, or on any other lot, unless every portion of the building or structure is made to conform to all the regulations of the district.
- (H) Non-conforming Lot Sizes. All lots used for storage that do not require a building and the use of such lot is made non-conforming by this Unified Development Code (UDC) or amendments thereto shall cease to be used for such storage within six months of the date

of adoption of the ordinance from which this Unified Development Code (UDC) is derived, or amendments [thereto].

#### SUBSECTION 06.05: NON-CONFORMING SHORT-TERM RENTALS

Short-Term Rentals, as defined in Article 13, Definitions, of this Unified Development Code (UDC), shall be considered to be legally in existence for the purpose of establishing vested or non-conforming rights regarding the zoning requirements if all of the following criteria is met by the owner of a Short-Term Rental:

- (A) The owner of a property provides a property deed or proof of ownership showing that the property was purchased prior to **April 1, 2024**.
- (B) The owner of the property can provide proof that the property was used as a Short-Term Rental (i.e. a listing, proof of rental, etc.) OR proof of payment of hotel occupancy tax to the City of Rockwall.

# LAND USE SCHEDULE

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

LAND USES	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference [Article 04, Permissible Uses]	RESIDENTIAL DISTRICTS													MIXED USE DISTRICTS		NON-RESIDENTIAL DISTRICTS					OVERLAY DISTRICTS					
			Agricultural (AG) District	Single Family Estate 1.5 (SFE-1.5) District	Single Family Estate 2.0 (SFE-2.0) District	Single Family Estate 4.0 (SFE-4.0) District	Single Family 1 (SF-1) District	Single Family 16 (SF-16) District	Single Family 10 (SF-10) District	Single Family 8.4 (SF-8.4) District	Single Family 7 (SF-7) District	Zero Lot-Line (ZL-5) District	Two-Family (2F) District	Multi-Family 14 (MF-14) District	Downtown (DT) District	Residential Office (RO) District	Neighborhood Services (NS) District	General Retail (GR) District	Commercial (C) District	Heavy Commercial (HC) District	Light Industrial (LI) District	Heavy Industrial (HI) District	Scenic Overlay (SOV) District	SH-66 Overlay (SH-66) District	IH-30 Overlay (IH-30 OV) District			
Residential Garage	(7)	(4) & (5)	A	A	A	A	A	A	A	A	A	A	A	A	A	A												
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A	A	A	A	A	A	A	S	S	S	S	P														
Home Occupation	(9)	(7)	P	P	P	P	P	P	P	P	P	P	P	P	P	P												
Limited-Service Hotel	(10)													S			S	S		S								
Full-Service Hotel	(11)	(8)												S			S	S		S								
Residence Hotel	(12)													S			S	S		S								
Motel	(13)													S			S	S		S								
Multi-Family Development or Structure	(14)	(9)													P													
Portable Building	(15)	(10)		P	P	P	P	P	P	P	P	P	P	P														
Residential Infill in an Established Subdivision	(16)	(11)	S	S	S	S	S	S	S	S	S	S	S	S	S	S												
Short-Term Rental (Owner-Occupied, Single-Family Home, Townhome, or Duplex)	(17)	(12)		P	P	P	P	P	P	P	P	P	P	P	S	S												
Short-Term Rental (Non-Owner-Occupied, Single-Family Home, Townhome, or Duplex)	(17)	(13)		P	P	P	P	P	P	P	P	P	P	P	S	S												
Short-Term Rental (Apartment or Condominium)	(17)	(14)		P	P	P	P	P	P	P	P	P	P	P	S	S												
Single-Family Attached Structure	(1718)	(1215)												P	P	P												
Single-Family Detached Structure	(1819)	(1316)	P	P	P	P	P	P	P	P	P	P	P			P												
Single-Family Zero Lot Line Structure	(1920)	(1417)												P	P	P												
Private Swimming Pool	(2021)		A	A	A	A	A	A	A	A	A	A	A	A	A	A												
Private Tennis Court	(2422)		A	S	S	S	S	S	S	S	S	S	S	S			S											
Townhouse	(2223)	(1518)													P		P											
Urban Residential	(2324)	(1619)												S	S													
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES			2.02(C)	2.03(C)																								
Assisted Living Facility	(1)	(1)												P	S	S	S	S	S		S							
Blood Plasma Donor Center	(2)																	P	P	P	P	P						
Cemetery/Mausoleum	(3)		S															P	P	P	P	P						

**Exhibit 'C'**  
Article 13, Definitions, of the  
Unified Development Code (UDC)

See Next Page ...



vehicles are kept for remuneration, hire, or sale and where a retail service station may be maintained as a secondary use.

- (7) Residential Garage. A residential accessory building used for the storage motor vehicles. These structures are typically attached to the primary structure; however, they may also be a detached structure.
- (8) Guest Quarters/Secondary Living Unit. An accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as a separate domicile.
- (9) Home Occupation. A commercial use customarily carried on in the home by members of the occupant family without structural alterations in the principal building or any of its rooms, without offering any commodity or service for sale on premises, without the installations of machinery or additional equipment other than that customary to normal household operations, without the employment of additional persons, without the use of a sign to advertise the occupations, and which does not cause the generation of other than normal noise, and pedestrian and vehicular traffic.
- (10) Limited-Service Hotel. A building or group of buildings used as a temporary dwelling place for individuals in exchange of financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Hotel room units are accessed through doorways into an internal hallway, courtyard, or lobby. Financial consideration for hotel room units is generally calculated on a nightly basis.
- (11) Full-Service Hotel. A building or group of buildings designed for and occupied as a temporary dwelling place. Access to guestrooms shall be restricted exclusively to interior corridors, that shall be accessed via the main lobby of the building or entryways individually equipped with some form of security-controlled access system. Customary hotel services such as linen, maid service, telephone, and other guest amenities are provided and may also contain various personal service shops.
- (12) Residence Hotel. A building or group of buildings used as a temporary dwelling place for individuals in exchange for financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Residence hotel room units are designed to be suitable for long-term occupancy with financial consideration being calculated on a nightly, weekly, and/or monthly basis. Typical residence hotel attributes include, but are not limited to, kitchen facilities, two-story design, and external doorways into room units.
- (13) Motel. A building or group of buildings used as a temporary dwelling place for individuals in exchange for financial consideration where customary hotel services such as linen, maid service, and telephone are provided. Each motel room unit has direct access to the outside. Financial consideration for motel room units is generally calculated on a nightly basis.
- (14) Multi-Family Structure or Development. A development consisting of at least three (3) single-family dwelling units grouped into a single building or multiple buildings on an individual parcel of land. Examples of a *Multi-Family*

*Development* include Triplexes, Quad or Fourplexes, apartments, condominiums, and etcetera.

- (15) Portable Building. A temporary building that may or may not have a foundation and is transportable.
- (16) Residential Infill in or Adjacent to an Established Subdivision. The new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.
- (17) Short-Term Rental. A *Short-Term Rental* is a residential dwelling unit, apartment, condominium, or *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. In practice, a *Short-Term Rental* is considered to be a residential land use, and is *not* considered to be a *Limited-Service Hotel, Full-Service Hotel, Residence Hotel, Motel, or Bed and Breakfast* as defined in this Unified Development Code (UDC). *Short-Term Rentals* can be further defined based on the following three (3) categories:
  - (a) Short-Term Rental (Owner-Occupied Single-Family Home, Townhome, or Duplex). A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (*i.e. occupies the primary structure*) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
  - (b) Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex). A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator does *not* occupy the dwelling unit during the rental, or that the owner or property owner does *not* occupy another dwelling unit -- or portion thereof -- on the same property (*i.e. the property owner or operator is not on-site as an occupant during the rental of the property*).
  - (c) Short-Term Rental (Apartment or Condominium). An *Apartment or Condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC])* -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.
- ~~(17)~~(18) Single-Family Attached Structure. A single-family residential structure that is occupied by one (1) family and shares a common wall or walls with another single-family residential structure, but that is on an individual lot and can be conveyed individually (*i.e. one [1] dwelling unit per lot*).
- ~~(18)~~(19) Single-Family Detached Structure. A single-family residential structure that is occupied by one (1) family, is situated on a single parcel of land, does not share a common

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: Z2024-008  
PROJECT NAME: SUP for 302 E Bourn Street  
SITE ADDRESS/LOCATIONS: 302 E BOURN ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Marisol Ortiz on behalf of Ricardo Alonso for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.121-acre parcel of land identified as Lot 49 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	02/23/2024	Approved w/ Comments

02/23/2024: Z2024-008; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 302 E. Bourn Street  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.121-acre parcel of land identified as Lot 49 of the Canup's Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2024-008) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90.00% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the situated within the Canup's Subdivision has been in existence since December 6, 1944, consists of 57 lots, and is considered to be more than 90.00% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to Subsection 04.01(B) of Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a J-Swing garage where the garage door is perpendicular to the street." In this case, the proposed garage is a J-Swing garage meeting the requirements as stated in the Unified Development Code (UDC).

M.7 Please review the attached Draft Ordinance prior to the February 27, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no

later than March 5, 2024.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 12, 2024, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 27, 2024.

I.9 The projected City Council meeting dates for this case will be March 18, 2024 (1st Reading) and April 1, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

02/23/2024: 1. Full panel replacement required to City Standard for sewer service.

2. Need variance for driveway spacing from Houston (min 50').

3. Impact fees will be due at Building permit.

4. 2 car garage require 18' minimum driveway width.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Approved w/ Comments

02/22/2024: DRIVEWAY WILL NEED TO BE A MINIMUM OF 18' WIDE FOR THE TWO CAR GARAGE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/21/2024	Approved

No Comments

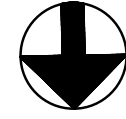
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/23/2024	Approved

No Comments

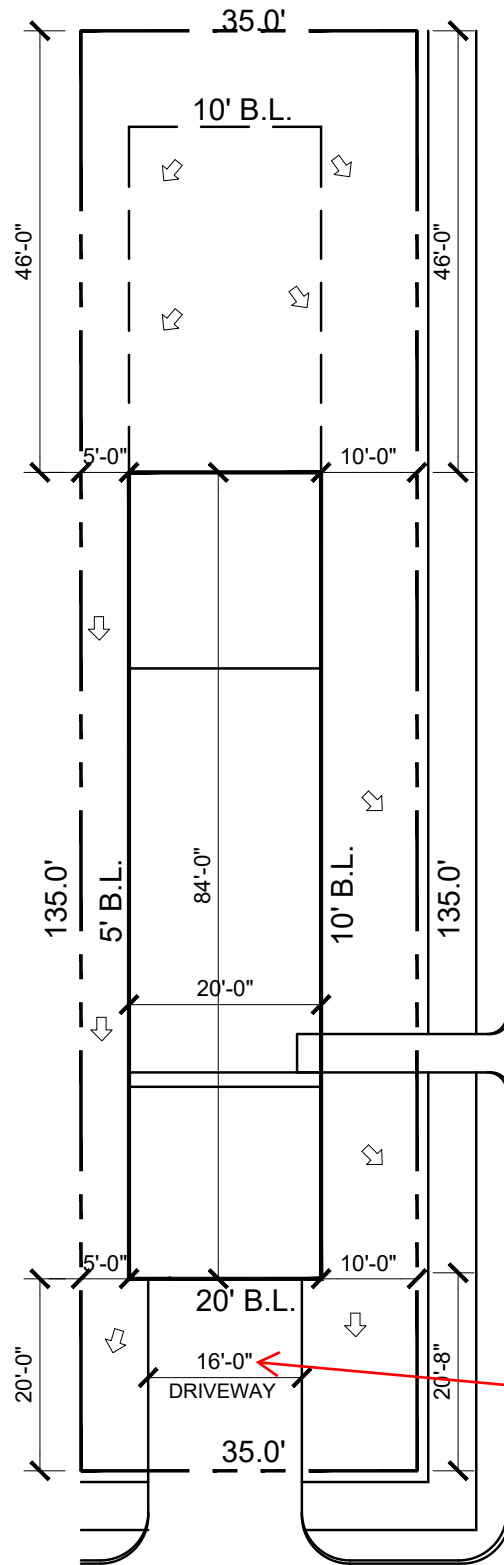
CONFIA HOMES

PLOT PLAN

SUBDIVISION	CANUP	BUYER	Spec.
LOT - 49	BLK -		
ADDRESS	302 BOURN ST		
DATE	02/12/24	DRAWN BY:	AW
PLAN NUMBER	2507	1299	SQ. FT. FLATWORK



NORTH  
SCALE: 1"=20'



- Full panel replacement required to City Standard for sewer service  
- Need variance for driveway spacing from Houston (min 50')  
- Impact fees will be due at Building permit

2 car garage require 18' minimum driveway width.

302 BOURN AVE

Type " B " Drainage





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.  
**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.  
**DIRECTOR OF PLANNING:**  
**CITY ENGINEER:**

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

<b>PLATTING APPLICATION FEES:</b> <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup> <input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> <input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup> <input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup> <input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00) <input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)  <b>SITE PLAN APPLICATION FEES:</b> <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup> <input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	<b>ZONING APPLICATION FEES:</b> <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> <input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 &amp; 2</sup> <input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>  <b>OTHER APPLICATION FEES:</b> <input type="checkbox"/> TREE REMOVAL (\$75.00) <input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>  <b>NOTES:</b> <sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. <sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
--	--

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 302 E Bourn St Rockwall, TX 75087  
SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_  
GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SS7 CURRENT USE SS7  
PROPOSED ZONING Vacant Lot PROPOSED USE Residential  
ACREAGE .121 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <u>Ricardo Alonso</u>	<input type="checkbox"/> APPLICANT <u>Marisol ortiz</u>
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>2435 N central expressway</u>	ADDRESS <u>2435 N central expressway suite #1270</u>
CITY, STATE & ZIP <u>Richardson, TX, 75080</u>	CITY, STATE & ZIP <u>Richardson TX, 75080</u>
PHONE <u>214-307-4120</u>	PHONE <u>469-881-2416</u>
E-MAIL <u>ricardo.alonso@confiahomes.com</u>	E-MAIL <u>marisol.ortiz@confiahomes.com</u>

## NOTARY VERIFICATION [REQUIRED]

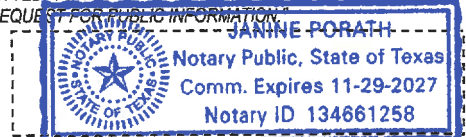
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICARDO ALONSO CARRILLO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 15 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF February, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF February, 2024.  
OWNER'S SIGNATURE R. Alonso

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Janine Porath



MY COMMISSION EXPIRES 11-29-2027



Z2024-008: Specific Use Permit (SUP) for Residential Infill at 302 E. Bourn Street



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

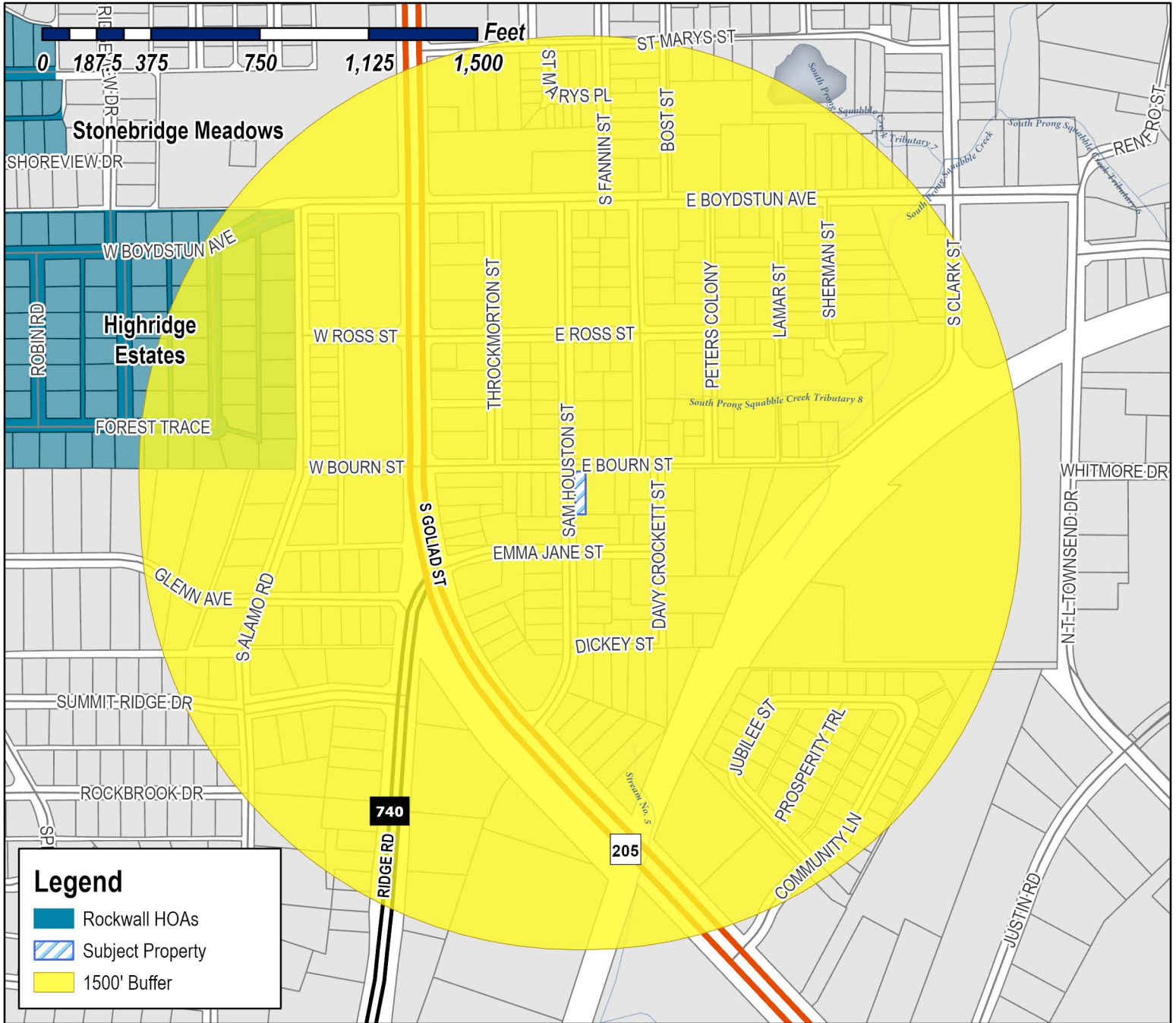




# City of Rockwall

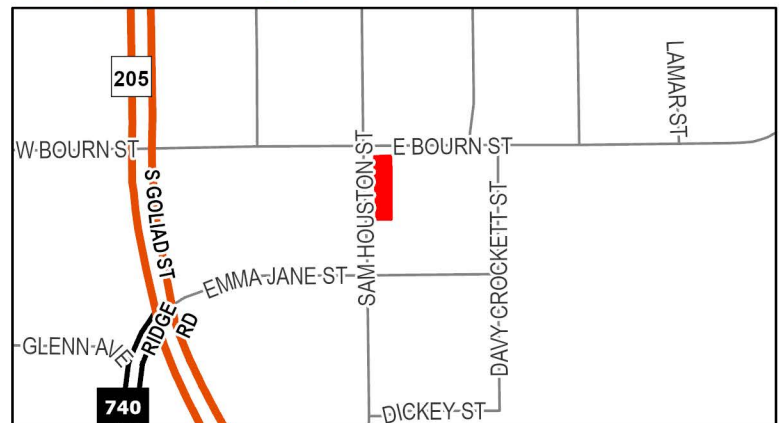
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-008  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 302 E. Bourn Street

**Date Saved:** 2/16/2024  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)  
**Subject:** Neighborhood Notification Program [Z2024-008]  
**Date:** Wednesday, February 21, 2024 11:30:09 AM  
**Attachments:** [HOA Map \(02.16.2024\).pdf](#)  
[Public Notice \(P&Z\) \(02.20.2024\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday February 23, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, March 12, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, March 18, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-008: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Marisol Ortiz on behalf of Ricardo Alonso for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.121-acre parcel of land identified as Lot 49 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street, and take any action necessary.

Thank you,

*Melanie Zavala*

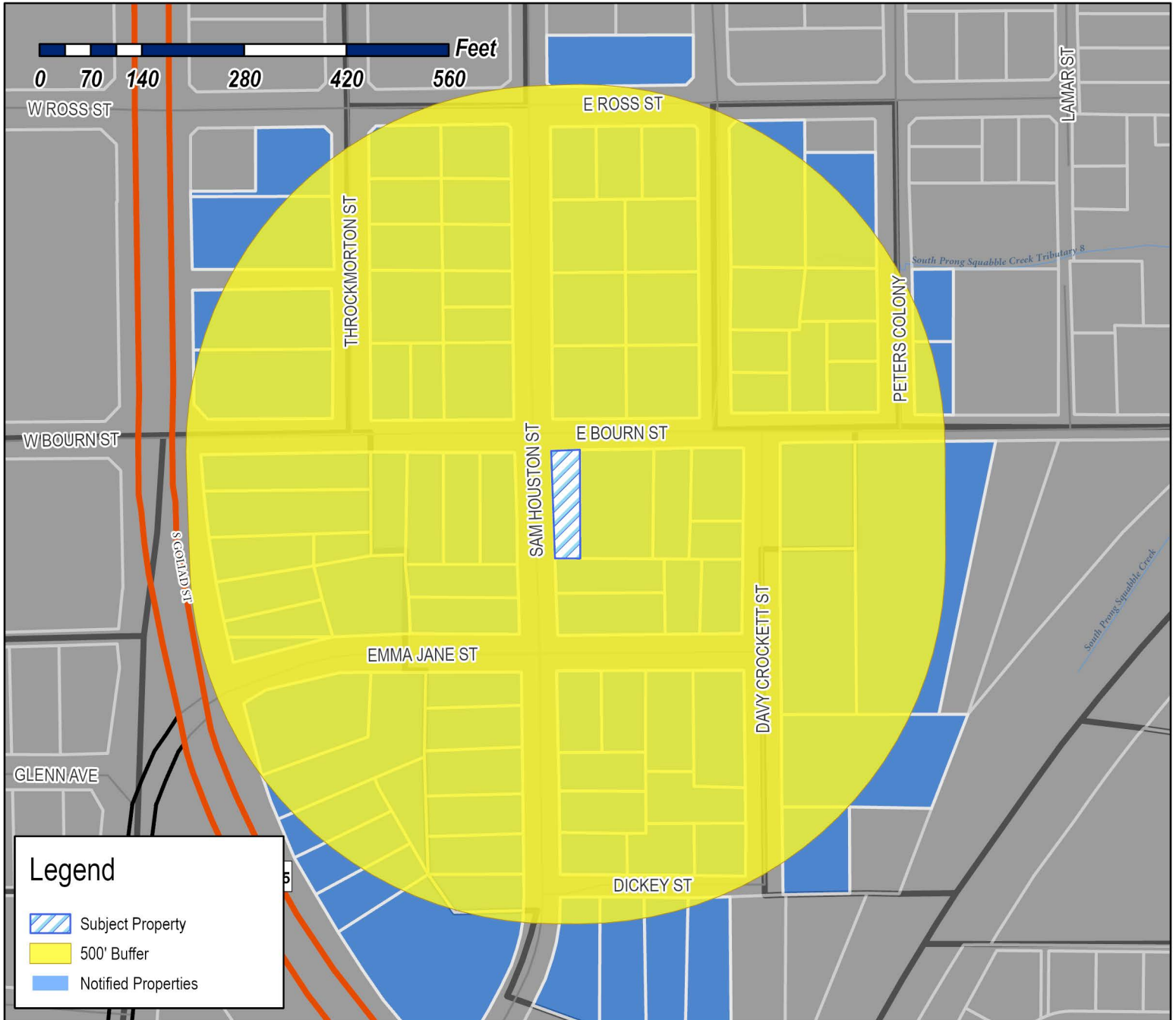
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

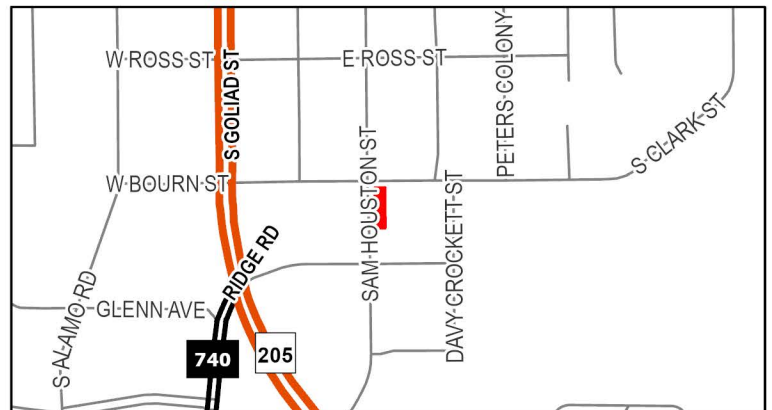
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-008  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 302 E. Bourn Street

**Date Saved:** 2/16/2024

For Questions on this Case Call: (972) 771-7745



EDWARDS JASON  
10 DANCING WATERS  
ROCKWALL, TX 75032

RESIDENT  
1001 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1003 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1005 SAM HOUSTON  
ROCKWALL, TX 75087

REEDER PERRY R AND JIMMIE  
1006 DAVY CROCKETT ST  
ROCKWALL, TX 75087

MALAVE BRENDA L  
1006 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
1007 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1008 DAVY CROCKETT  
ROCKWALL, TX 75087

RESIDENT  
1008 SAM HOUSTON  
ROCKWALL, TX 75087

LIVAY LLC  
1009 HOT SPRINGS DR  
ALLEN, TX 75013

RESIDENT  
1009 S GOLIAD  
ROCKWALL, TX 75087

CASTILLO PEDRO  
1009 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
1010 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1011 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1011 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
1012 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1013 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
102 E ROSS AVE  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

GE QIQING AND  
JINGJING ZHANG  
105 COYOTE BRUSH  
IRVINE, CA 92618

ERVIN PROPERTIES LLC  
1155 W WALL STREET SUITE 101  
GRAPEVINE, TX 76051

ANDERSON ALLEN  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1404 RIDGE ROAD  
ROCKWALL, TX 75087

EFENEY WILLIAM M  
1406 S LAKESHORE DR  
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC  
C/O. TRICON AMERICAN HOMES LLC  
15771 RED HILL AVE  
TUSTN, CA 92780

BATRES MARIA DELL REFUGIO  
202 BOURN STREET  
ROCKWALL, TX 75087

LRG GROUP LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

MOTON R T  
203 E BOURN ST  
ROCKWALL, TX 75087

RIVERA JAIME & MARIA  
204 E BOURN ST  
ROCKWALL, TX 75087

MIMS KATHY  
206 E BOURN ST  
ROCKWALL, TX 75087

RESIDENT  
206-207 EMMA JANE ST  
ROCKWALL, TX 75087

RESIDENT  
207 BOURN AVE  
ROCKWALL, TX 75087

RESIDENT  
208 EMMA JANE ST  
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE  
208 E BOURN ST  
ROCKWALL, TX 75087

NEW CALDONIA BAPTIST CHURCH  
301 E BOURNE AVE  
ROCKWALL, TX 75087

RESIDENT  
302 EMMA JANE  
ROCKWALL, TX 75087

CONFIA HOMES LLC  
302 BOURN  
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA  
302 E ROSS  
ROCKWALL, TX 75087

RESIDENT  
304 EMMA JANE  
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-  
HERNANDEZ  
304 E BOURN ST  
ROCKWALL, TX 75087

RESIDENT  
304 E ROSS AVE  
ROCKWALL, TX 75087

RESIDENT  
306 BOURN AVE  
ROCKWALL, TX 75087

ESTATE OF ARCHIE & JUANITA JONES  
308 E BOURN ST  
ROCKWALL, TX 75087

ELLERD TERESA  
308 EMMA JANE ST  
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI  
308 STONEBRIDGE DR  
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N  
309 EMMA JANE ST  
ROCKWALL, TX 75087

RESIDENT  
310 EMMA JANE  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
313 STONEBRIDGE DR  
ROCKWALL, TX 75087

RESIDENT  
403 E BOURN ST  
ROCKWALL, TX 75087

JONES LENA EST  
C/O CHARLES R HUMPHREY  
405 ER ELLIS  
ROCKWALL, TX 75087

WALTER MARY  
408 E BOURN ST  
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA  
414 E. COACHLIGHT TRAIL  
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G  
418 E BOURN ST  
ROCKWALL, TX 75087

LIU HOWARD HEYUN  
4577 JAGUAR DR  
PLANO, TX 75024

HECKARD ALLEN  
4906 FREEMAN DR  
ROWLETT, TX 75088

TEXAN MUTUAL LLC  
5000 RIVERSIDE DR STE 100W BLDG 5  
IRVING, TX 75039

MARTIN HELEN  
501 E BOURN ST  
ROCKWALL, TX 75087

MATHIS DEBRA L  
504 DICKEY ST  
ROCKWALL, TX 75087

RUSZKOWSKI SKYLER E  
506 DICKEY STREET  
ROCKWALL, TX 75087

RODRIGUEZ MARIA  
507 DICKEY ST  
ROCKWALL, TX 75087

BROWN GEORGIA  
508 DICKEY ST  
ROCKWALL, TX 75087

STAR 2022 SFR3 BORROWER LP  
591 WEST PUTNAM AVE  
GREENWICH, CT 6830

BRANNON ERMA LEE EST AND  
MARVIN RAY BRANNON ETAL  
6819 CLIFFWOOD DR  
DALLAS, TX 75237

ESTATE OF RHODA MAE HEARD  
710 DAVY CROCKETT ST  
ROCKWALL, TX 75087

ALLEN ETHEL JEAN  
711 SHERMAN ST  
ROCKWALL, TX 75087

BENNETT A L EST  
C/O OLIVER LINVELL  
712 PETERS COLONY  
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH  
7903 FERGUSON RD  
DALLAS, TX 75228

RESIDENT  
800 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
801 DAVY CROCKETT  
ROCKWALL, TX 75087

LAFAYETTE ESTELLE  
801 THROCKMORTON ST  
ROCKWALL, TX 75087

JACKSON CALVIN  
802 SAM HOUSTON ST  
ROCKWALL, TX 75087

DANIELS ANNIE L  
803 THROCKMORTON ST  
ROCKWALL, TX 75087

DIXON ALMA  
804 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
805 SAM HOUSTON  
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST  
EPISCOPAL CHURCH  
805 PETERS COLONY  
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN  
805 THROCKMORTON  
ROCKWALL, TX 75087

RESIDENT  
806 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
807 THROCKMORTON  
ROCKWALL, TX 75087

RESIDENT  
808 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
809 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
809 SAM HOUSTON  
ROCKWALL, TX 75087

JOHNSON MELDRIA  
809 DAVY CROCKETT  
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA  
810 DAVY CROCKETT ST  
ROCKWALL, TX 75087

BARRON BLAKELEIGH  
811 DAVY CROCKETT ST  
ROCKWALL, TX 75087

RESIDENT  
811 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
812 PETERS COLONY  
ROCKWALL, TX 75087

HALL WILLA O  
815 DAVY CROCKETT ST  
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA  
815 THROCKMORTON ST  
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE  
900 DAVY CROCKETT  
ROCKWALL, TX 75087



JPH ROCKWALL LLC  
901 DAVY CROCKETT STREET  
ROCKWALL, TX 75087

RESIDENT  
901 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
902 DAVY CROCKETT  
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN  
902 LAKE MEADOWS DR  
ROCKWALL, TX 75087

RESIDENT  
903 DAVY CROCKETT  
ROCKWALL, TX 75087

G O A T GENERAL CONTRACTING LLC  
903 DAVY CROCKETT ST  
ROCKWALL, TX 75087

RESIDENT  
903 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
905 S GOLIAD  
ROCKWALL, TX 75087

DIXON MARSHALL WADE  
905 SAM HOUSTON  
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO  
906 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
907 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
907 S GOLIAD  
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC  
P. O. BOX 853  
WYLIE, TX 75098

DATIBRAN HOLDINGS LLC  
PO BOX 1137  
ROCKWALL, TX 75087

JCK CONCRETE INC  
PO BOX 311  
FATE, TX 75132

PROGRESS RESIDENTIAL BORROWER 16 LLC  
PO BOX 4090  
SCOTTSDALE, AZ 85261

NEW CALDONIA BAPTIST CHURCH  
PO BOX 481  
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2024-008: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Marisol Ortiz on behalf of Ricardo Alonso for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.121-acre parcel of land identified as Lot 49 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 12, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 18, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 18, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2024-008: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey input field]

Address: [Grey input field]

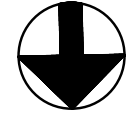
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

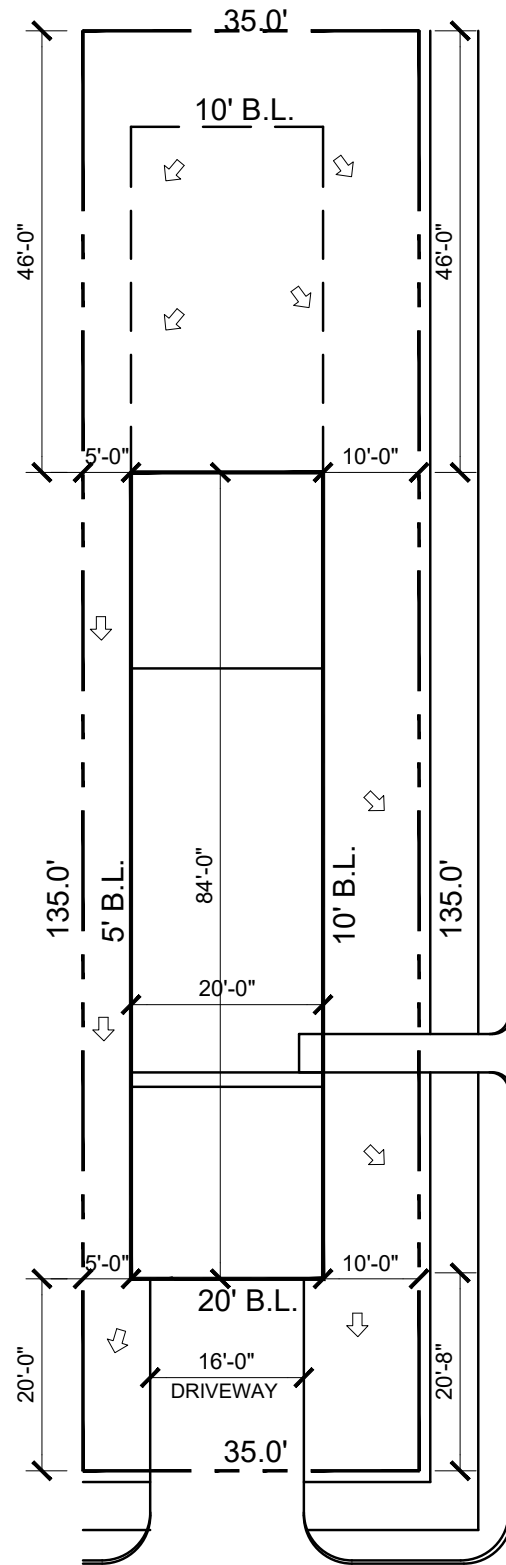
CONFIA HOMES

PLOT PLAN

SUBDIVISION	CANUP	BUYER	Spec.
LOT - 49	BLK -		
ADDRESS	302 BOURN ST		
DATE	02/12/24	DRAWN BY:	AW
PLAN NUMBER	2507	1299	SQ. FT. FLATWORK



NORTH  
SCALE: 1"=20'



HOUSTON ST

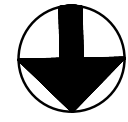
302 BOURN AVE

Type " B " Drainage

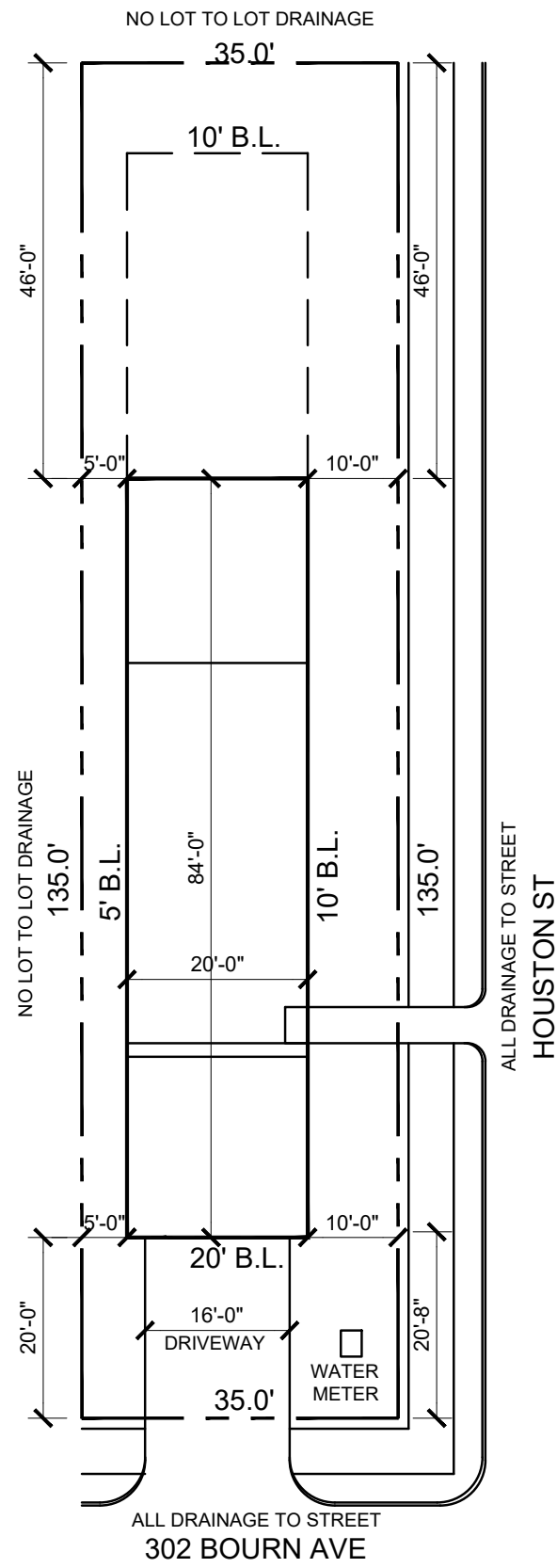
CONFIA HOMES

PLOT PLAN

SUBDIVISION	CANUP	BUYER	Spec.
LOT - 49	BLK -		
ADDRESS	302 BOURN ST		
DATE	02/12/24	DRAWN BY:	AW
PLAN NUMBER	2507	1299	SQ. FT. FLATWORK



NORTH  
SCALE: 1"=20'



Type " B " Drainage



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

PLAN NO. 2876

CONFIA HOMES  
305 BOURN ST

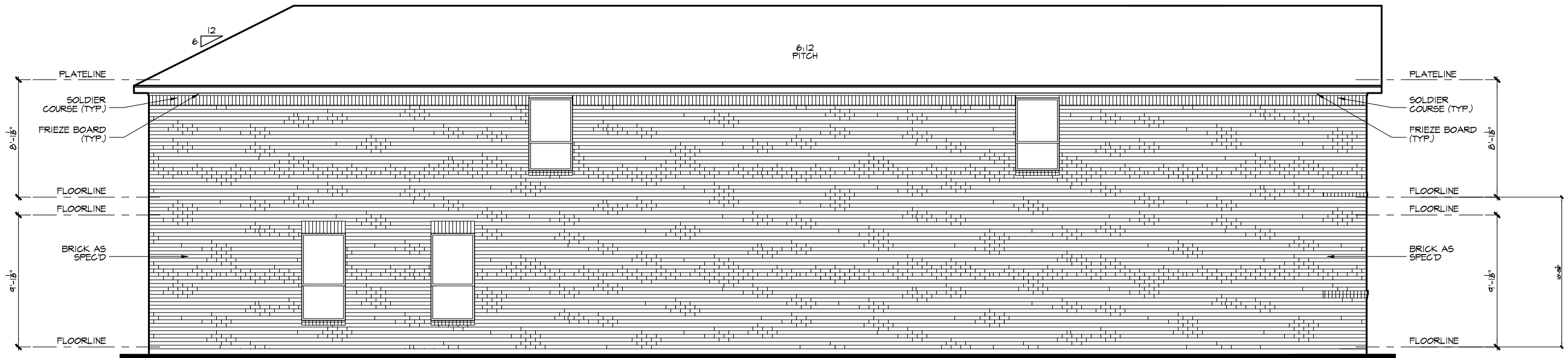
REVISIONS:  
PRR #

Drawn By:  
AW

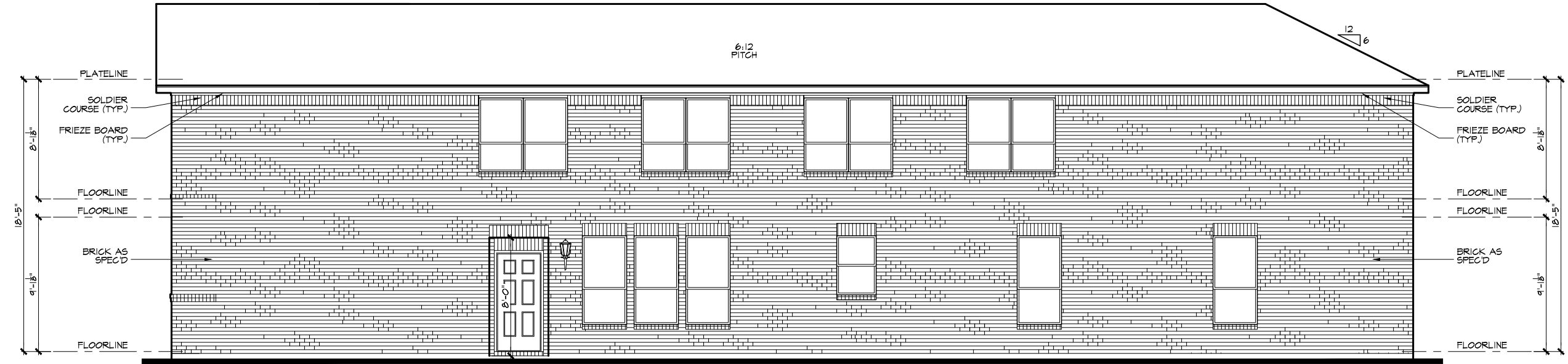
Plan Number:  
2876

AI  
2 of 11

NOTE: ALL SIDE AND REAR WINDOWS ARE TO BE CLEAR OR DIVIDED LITE PER COMMUNITY SPECS.



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"

PLAN NO. 2876

CONFIA HOMES  
305 BOURN ST

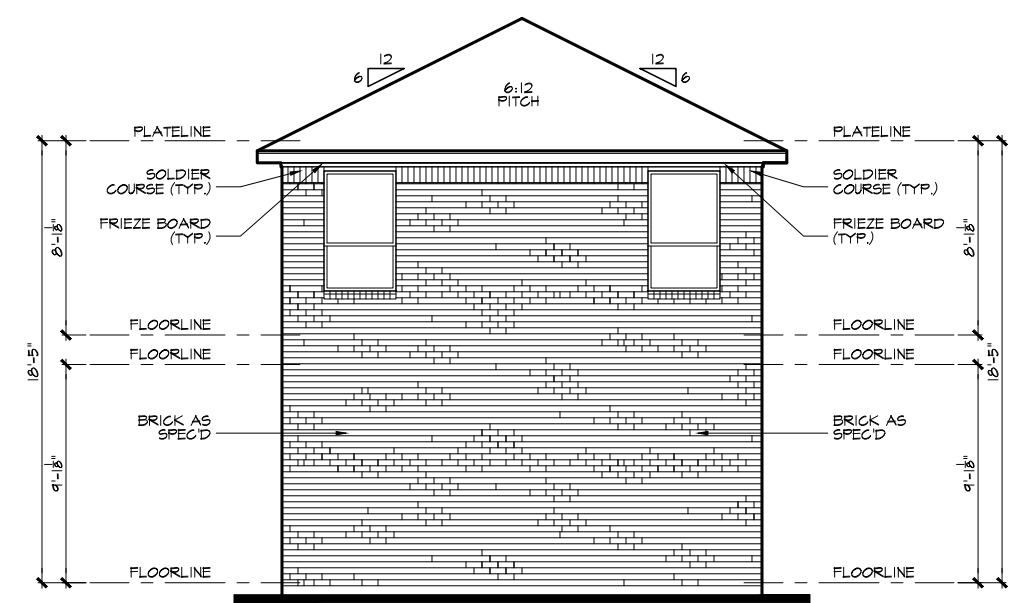
REVISIONS:  
PRR #

Drawn By:  
AW

Plan Number  
2876

A2  
3 of 11

NOTE: ALL SIDE AND REAR WINDOWS ARE TO BE CLEAR OR DIVIDED LITE PER COMMUNITY SPECS.



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

PLAN NO. 2876

CONFIA HOMES  
305 BOURN ST

REVISIONS:  
PRR #

Drawn By:  
AW

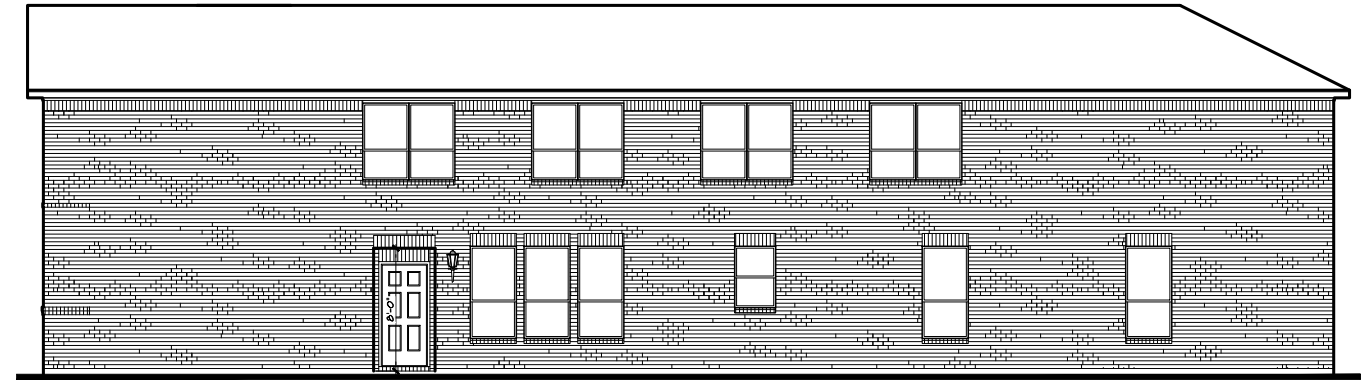
Plan Number  
2876

A3  
4 of 11



**FRONT ELEVATION**

SCALE: NTS

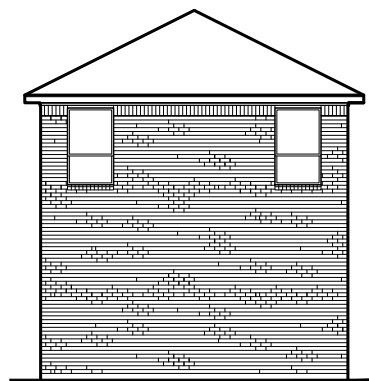


**RIGHT ELEVATION**

SCALE: NTS

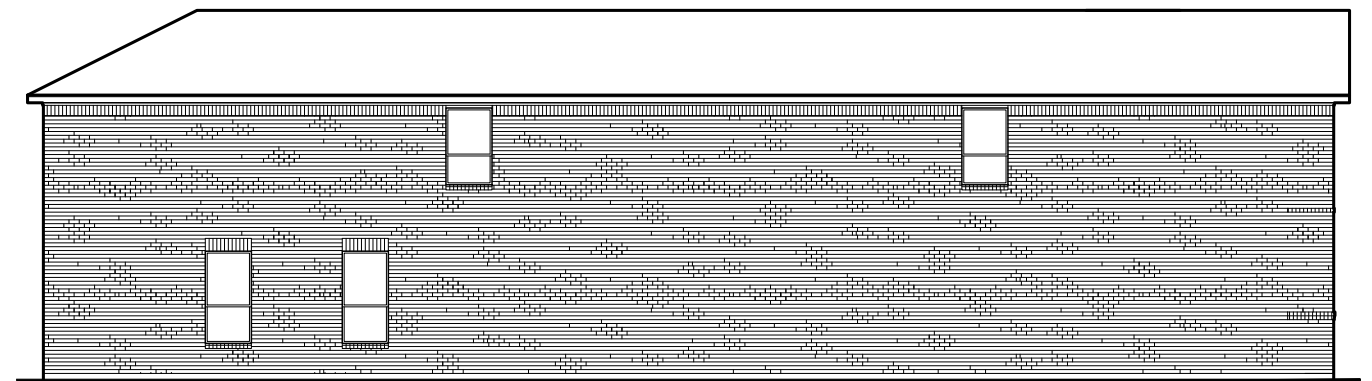
BRICK CALCULATIONS				
2876				
		BRICK AREA	SIDING AREA	BRICK %
FRONT	1st FLR.	72 S.F.	0 S.F.	100%
FRONT	2nd FLR.	192 S.F.	0 S.F.	100%
REAR	1st FLR.	184 S.F.	0 S.F.	100%
REAR	2nd FLR.	134 S.F.	0 S.F.	100%
LEFT	1st FLR.	738 S.F.	0 S.F.	100%
LEFT	2nd FLR.	661 S.F.	0 S.F.	100%
RIGHT	1st FLR.	650 S.F.	0 S.F.	100%
RIGHT	2nd FLR.	568 S.F.	0 S.F.	100%
TOTAL	1st FLOOR	1644 S.F.	0 S.F.	100%
TOTAL	2nd FLOOR	1555 S.F.	0 S.F.	100%
GRAND TOTAL AREA		3199 S.F.	0 S.F.	100%

\*WALL AREAS EXCLUDE DOORS & WINDOWS



**REAR ELEVATION**

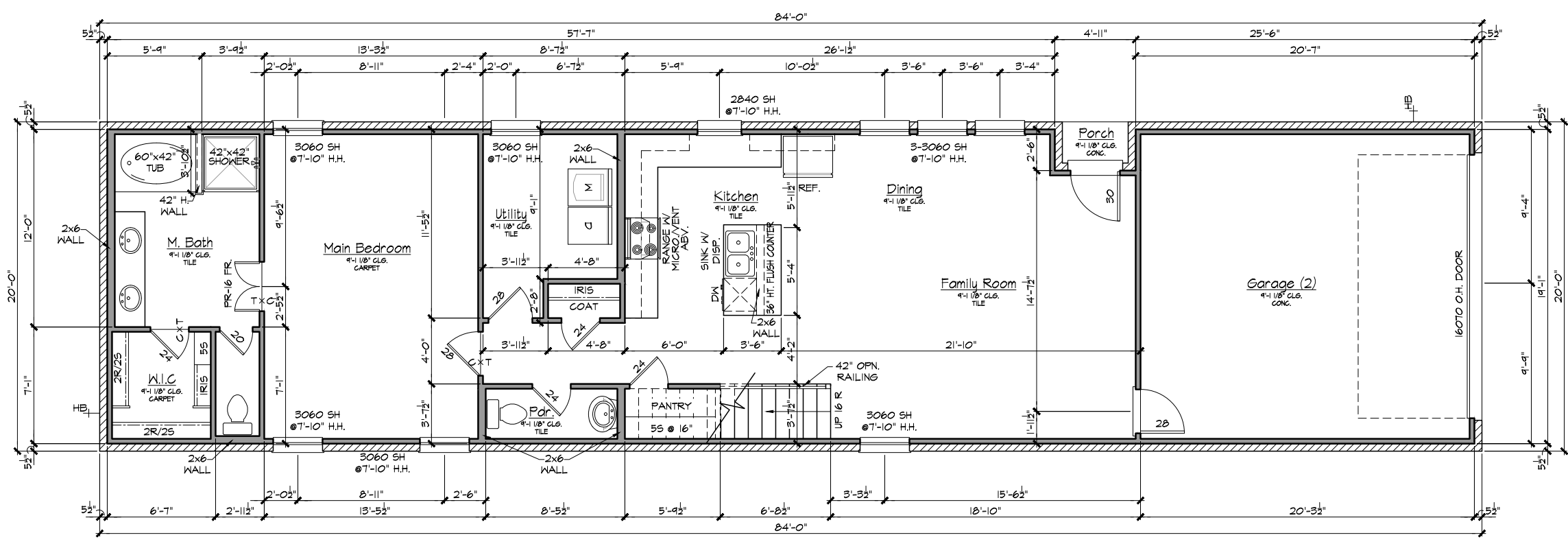
SCALE: NTS



**LEFT ELEVATION**

SCALE: NTS

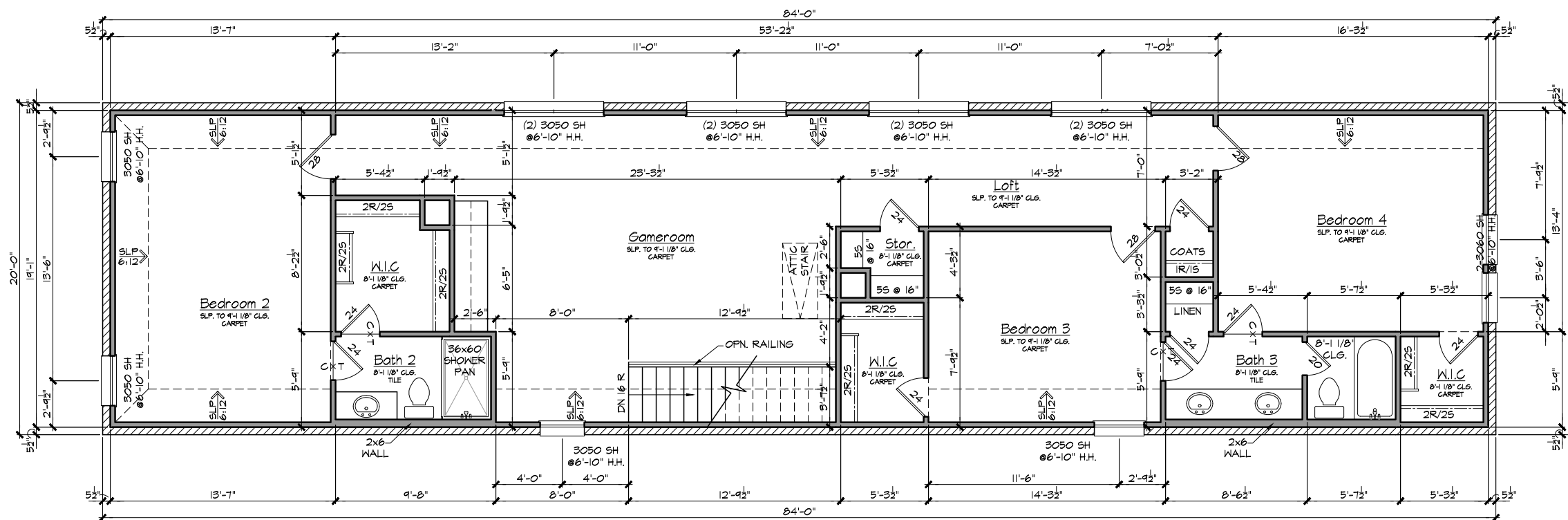




**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**  
 1. ALL WORK SHALL BE IN STRICT CONFORMANCE TO ALL APPLICABLE CODES, REGULATIONS AND LAWS.  
 2. ALL WALLS SHALL BE 3 1/2". UNLESS NOTED OTHERWISE.  
 3. ALL PLUMBING WALLS TO BE 5 1/2".

AREA CALCULATIONS	
ELEVATION "A"	
FIRST FLOOR	1251 S.F.
SECOND FLOOR	1625 S.F.
<b>TOTAL AREA</b>	<b>2876 S.F.</b>
GARAGE	417 S.F.
COVERED PORCH	12 S.F.
OUTDOOR LIVING	0 S.F.
<b>TOTAL UNDER ROOF</b>	<b>3305 S.F.</b>
OVERALL WIDTH	20'-0"
OVERALL DEPTH	84'-0"



**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

PLAN NO. 2876

CONFIA HOMES  
305 BOURN ST

REVISIONS:  
PRR #

Drawn By:  
AW

Plan Number  
2876

A5  
6 of 11

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.121-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 49 OF THE CANUP'S ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Marisol Ortiz for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.121-acre parcel of land identified as Lot 49 of the Canup's Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 302 E. Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF APRIL, 2024.

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: March 18, 2024

2<sup>nd</sup> Reading: April 1, 2024

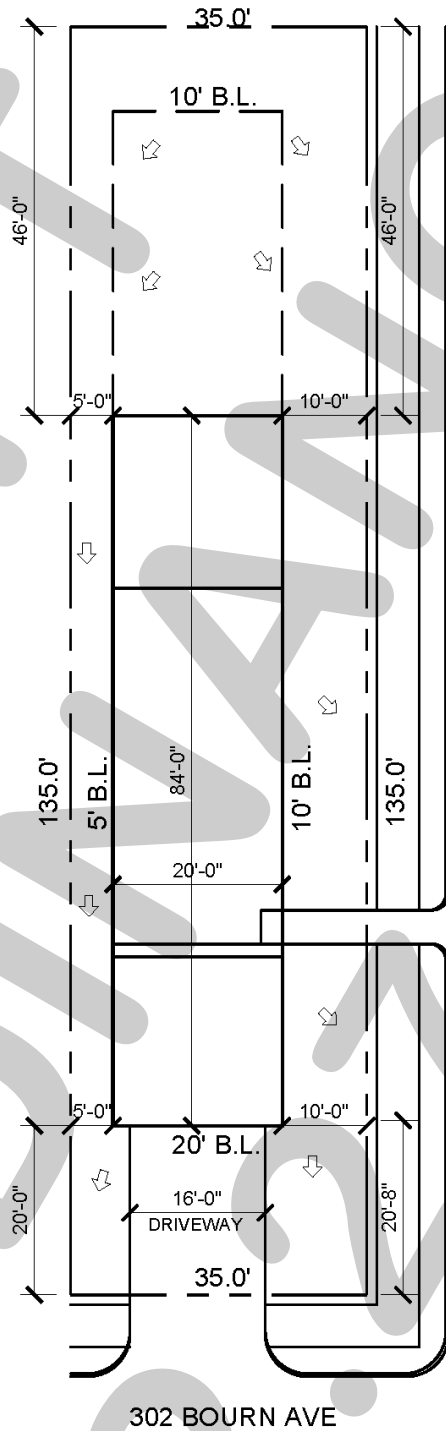
**Exhibit 'A':  
Location Map**

Address: 302 E. Bourn Street

Legal Description: Lot 49 of the Canup's Addition



**Exhibit 'B':**  
*Residential Plot Plan*



**Exhibit 'C':  
Building Elevations**

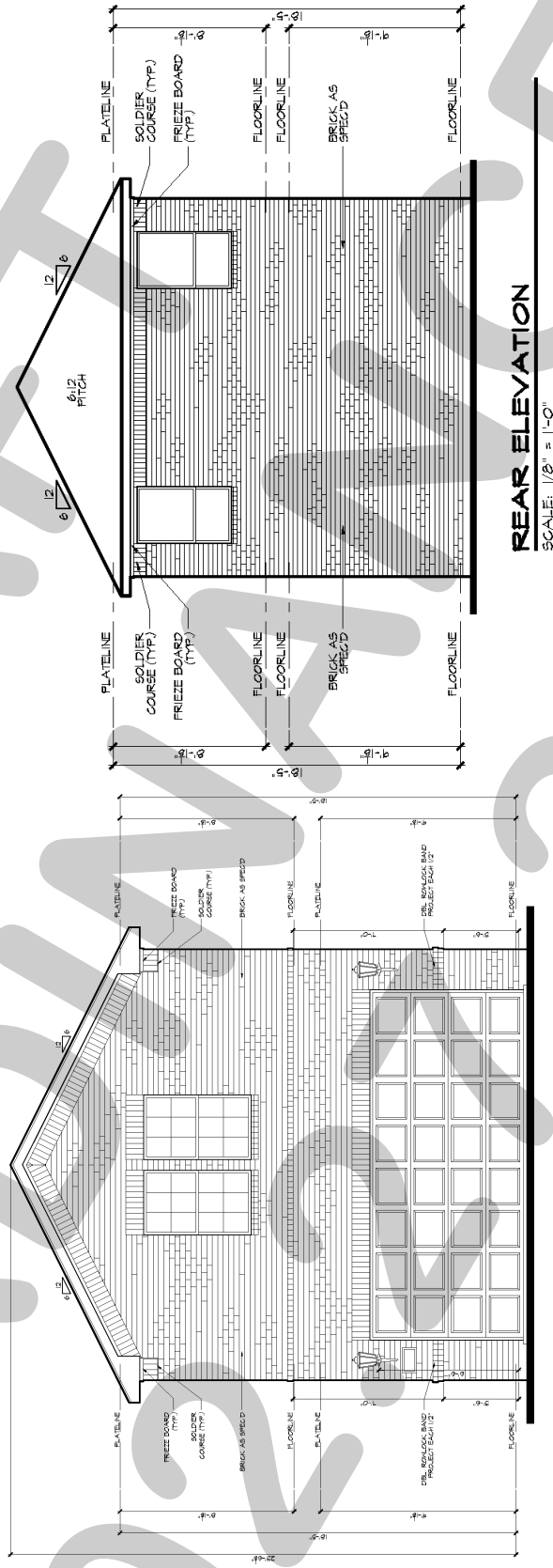
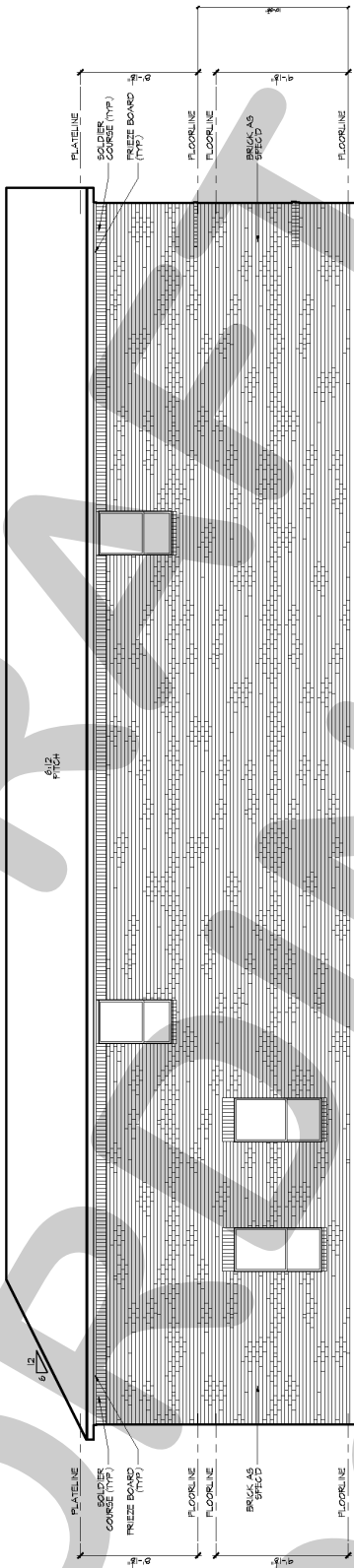
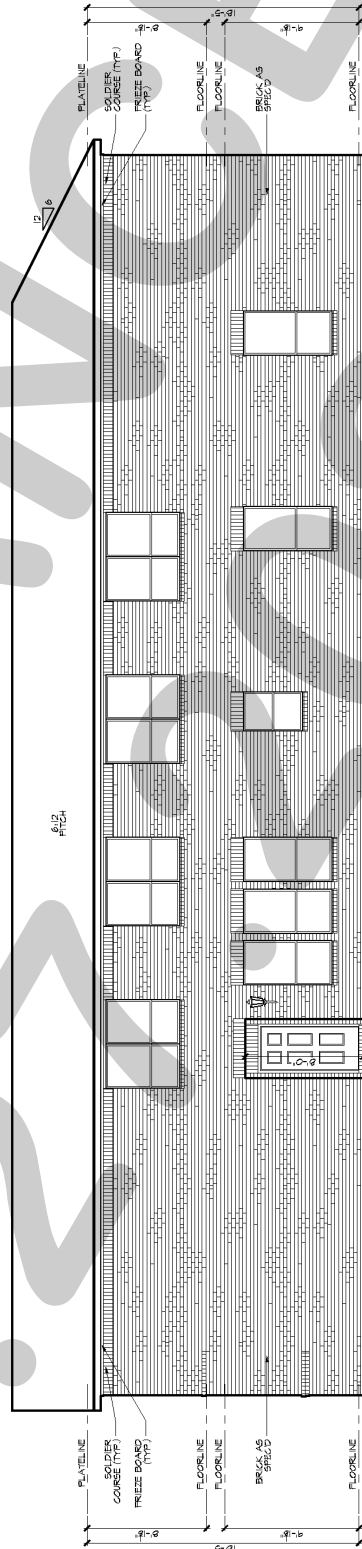




Exhibit 'C':  
Building Elevations



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: Z2024-009  
PROJECT NAME: Zoning Chnage from AG to SFE-1.5 & LI  
SITE ADDRESS/LOCATIONS: 172 ZOLLNER RD, ROCKWALL, 75189  
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	02/23/2024	Approved w/ Comments

02/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District and a Light Industrial (LI) District for a 9.4411-acre tract of land identified as Tract 3-4 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall, Texas, zoned Agricultural (AG) District, situated in the SH-276 Overlay (SH-276 OV) District, addressed 172 Zollner Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

I.3 According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the South-Central Estates District and is scheduled for Technology/Employment Center and Commercial/Retail land uses. The proposed change in zoning from Agricultural (AG) District to a Light Industrial (LI) District is consistent with the OURHometown Vision 2040 Comprehensive Plan; however, the change from Agricultural (AG) District to Single-Family Estate 1.5 (SFE-1.5) District is not consistent. With this being said, the zoning change to SFE-1.5 is consistent with the current use of the land, and can be considered to be an interim step that brings the land closer to conforming with the future designation of Commercial/Retail.

I.4 Please note that regardless of the submitted request -- if this zoning case is approved -- any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Light Industrial (LI) District and Single-Family Estate 1.5 (SFE-1.5) District.

M.5 Please review the attached Draft Ordinance prior to the February 27, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than March 5, 2024.

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 5, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 12, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on February 27, 2024.

I.7 The projected City Council meeting dates for this case will be March 18, 2024 (1st Reading) and April 1, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/20/2024	Approved
No Comments			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **22024-**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **172 Zollner Rd**

SUBDIVISION **JH Bailey**

LOT

BLOCK

GENERAL LOCATION **Zollner 1st 276**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **AG**

CURRENT USE

PROPOSED ZONING **SFE 1.5 & L1**

PROPOSED USE

ACREAGE **9.42**

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Antonio Borjas**

APPLICANT

CONTACT PERSON **Antonio Borjas**

CONTACT PERSON

ADDRESS **172 Zollner Rd**

ADDRESS

CITY, STATE & ZIP **Roysc city, TX 75189**

CITY, STATE & ZIP

PHONE **214-926-7934**

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **16<sup>th</sup>** DAY OF **February** 20**24**

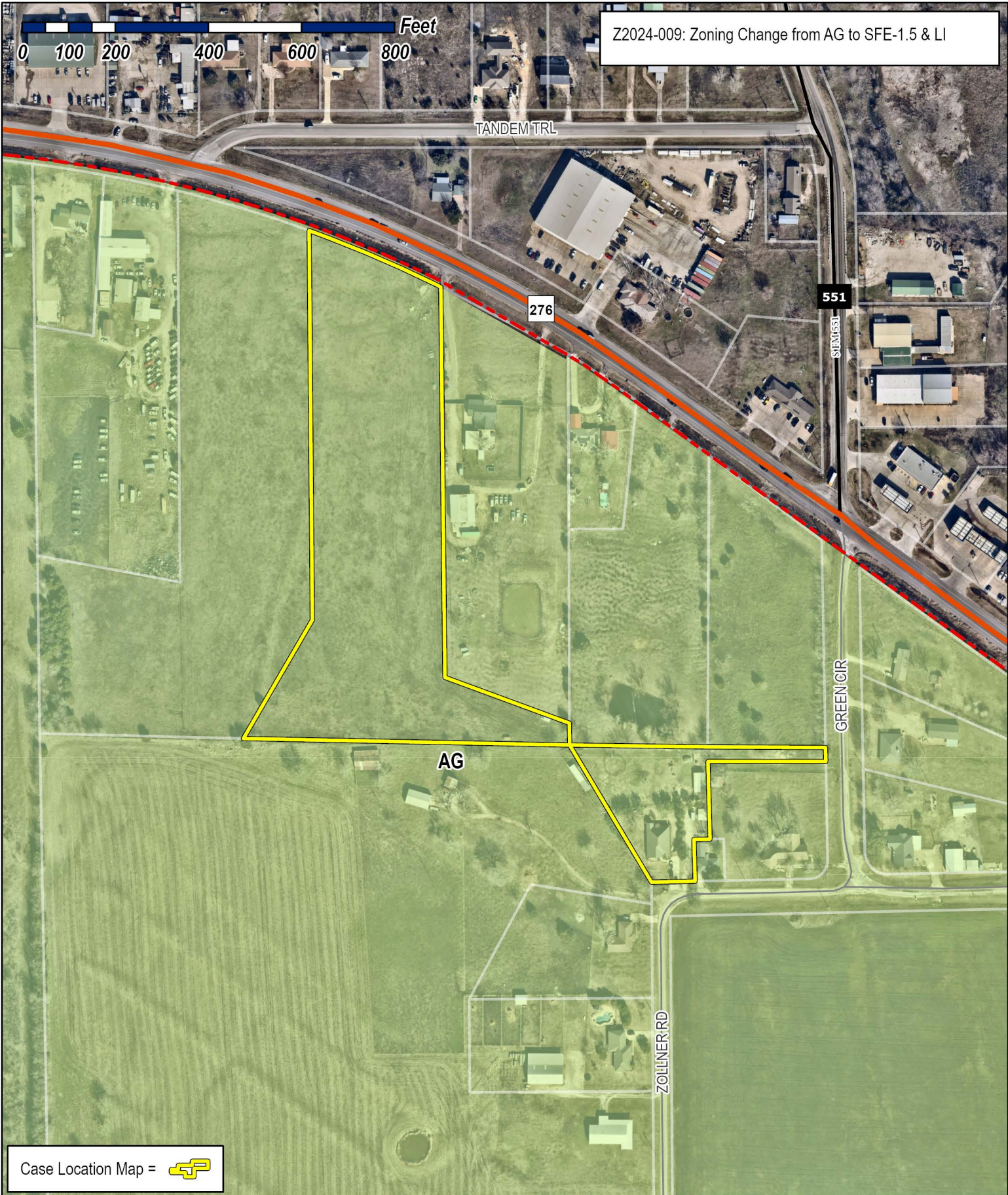
OWNER'S SIGNATURE

*Antonio Borjas*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Margaret Delaney*





Z2024-009: Zoning Change from AG to SFE-1.5 & LI

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

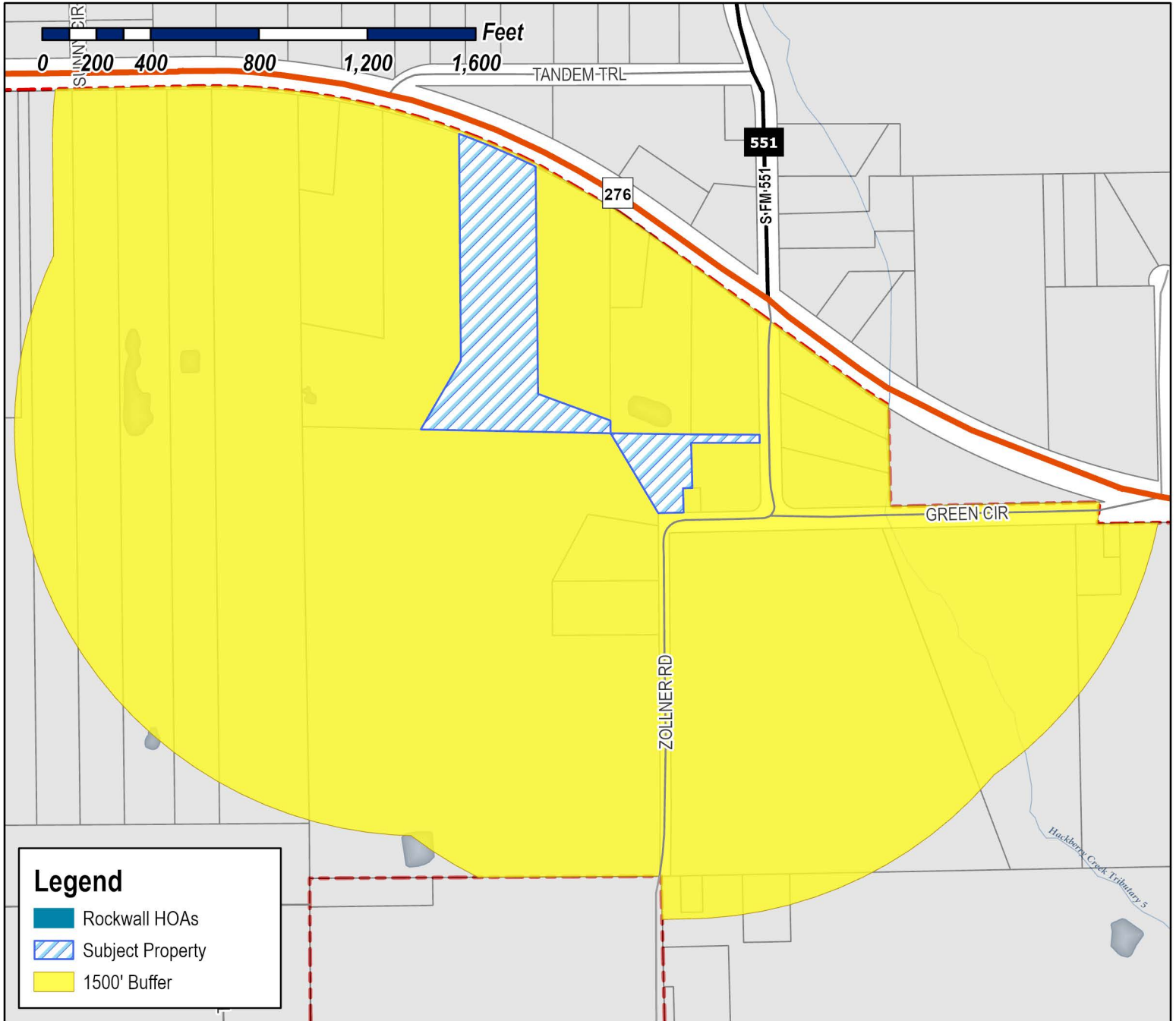




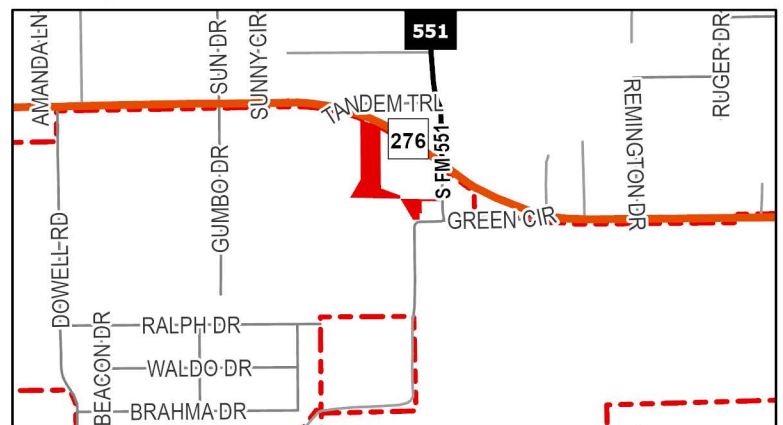
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-009  
**Case Name:** Zoning Change from AG to SFE-1.5 & LI  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 172 Zollner Road



**Date Saved:** 2/16/2024

For Questions on this Case Call (972) 771-7745



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2024-009  
**Case Name:** Zoning Change from AG to SFE-1.5 & LI  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 172 Zollner Road

**Date Saved:** 2/16/2024

For Questions on this Case Call: (972) 771-7745



GONZALEZ OSCAR  
1010 LAKESHORE BLVD  
OAK POINT, TX 75068

RESIDENT  
105 ZOLLNER RD  
ROYSE CITY, TX 75189

RAMIREZ MARTIN & TERESA  
11582 HWY 205  
LAVON, TX 75166

DHILLON GURMIT AND RANJEET K  
1512 RIDGETOP CT  
ROCKWALL, TX 75032

RESIDENT  
161 GREEN CIR  
ROYSE CITY, TX 75189

BORJAS ANTONIO  
172 ZOLLNER RD  
ROYSE CITY, TX 75189

RESIDENT  
186 ZOLLNER RD  
ROYSE CITY, TX 75189

RESIDENT  
201 GREEN CIR  
ROYSE CITY, TX 75189

MCAULEY CHRISTOPHER ROSS  
254 ZOLLNER  
ROYSE CITY, TX 75189

FULLER DONALD J  
261 GREEN CIR  
ROYSE CITY, TX 75189

RESIDENT  
264 GREEN CIR  
ROYSE CITY, TX 75189

BRANTON NORA JANE  
345 EL RIO DR  
MESQUITE, TX 75150

METRO REALEEDGE LLC  
3620 WHITE BIRCH WAY  
EULESS, TX 76040

MCAULEY MICHAEL D & JUDY  
444 ZOLLNER RD  
ROYSE CITY, TX 75189

MCAULEY JUDY LYNN  
444 ZOLLNER ROAD  
ROYSE CITY, TX 75189

SZOBOSZLAY TOM  
4827 STATE HIGHWAY 276  
ROCKWALL, TX 75189

RESIDENT  
4891 HWY276  
ROYSE CITY, TX 75189

EDGEMON TONY L AND REGINA A  
4947 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

THOMPSON BRADLEY  
5095 STATE HWY 276  
ROYSE CITY, TX 75189

MEDINA LIGNA SARDON AND MARVIN JOSUE  
MEDINA ANARIBA  
5143 STATE HIGHWAY 276  
ROYSE CITY, TX 75189

BORJAS MARIO ALBERTO  
647 TUBBS ROAD  
ROCKWALL, TX 75032

CALVILLO MICHELLE ANN  
8119 SAMUELS ROAD  
TERRELL, TX 75160

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

JONES LARRY JAY  
P.O. BOX 92  
WESTON, CO 81091



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2024-009: Zoning Change from AG to SFE-1.5 & LI**

Hold a public hearing to discuss and consider a request by Harold Fetty of H. D. Fetty Land Surveyor, LLC on behalf of Antonio Borjas for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District and a Light Industrial (LI) District for a 9.4411-acre tract of land identified as Tract 3-4 of the J. H. Bailey Survey, Abstract 45, City of Rockwall, Rockwall, Texas, zoned Agricultural (AG) District, situated in the SH-276 Overlay (SH-276 OV) District, addressed 172 Zollner Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 12, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 18, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 18, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2024-009: Zoning Change from AG to SFE-1.5 & LI**

Please place a check mark on the appropriate line below:

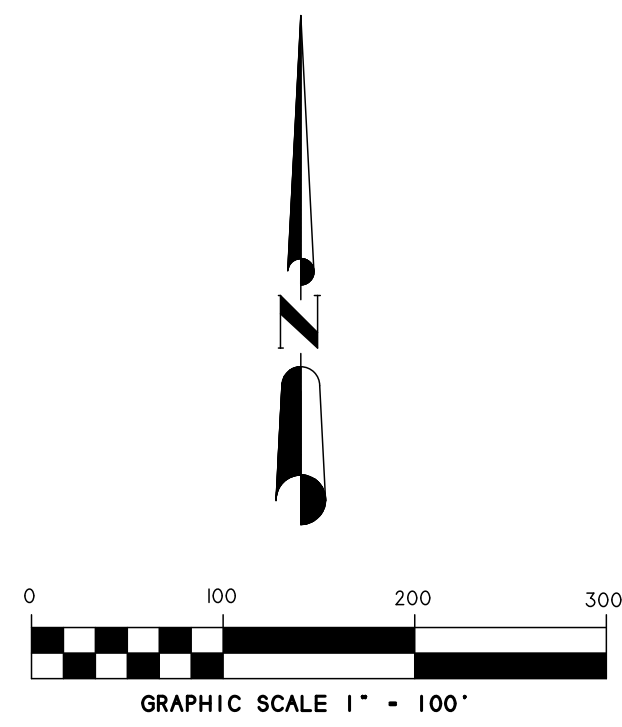
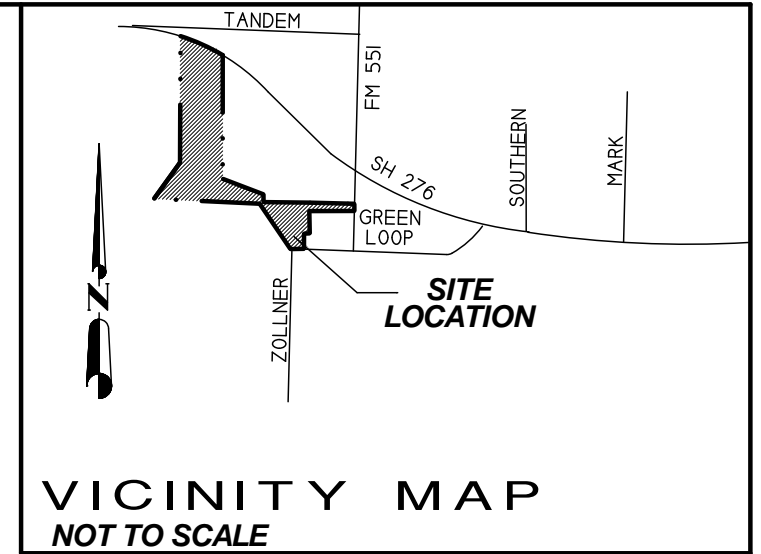
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

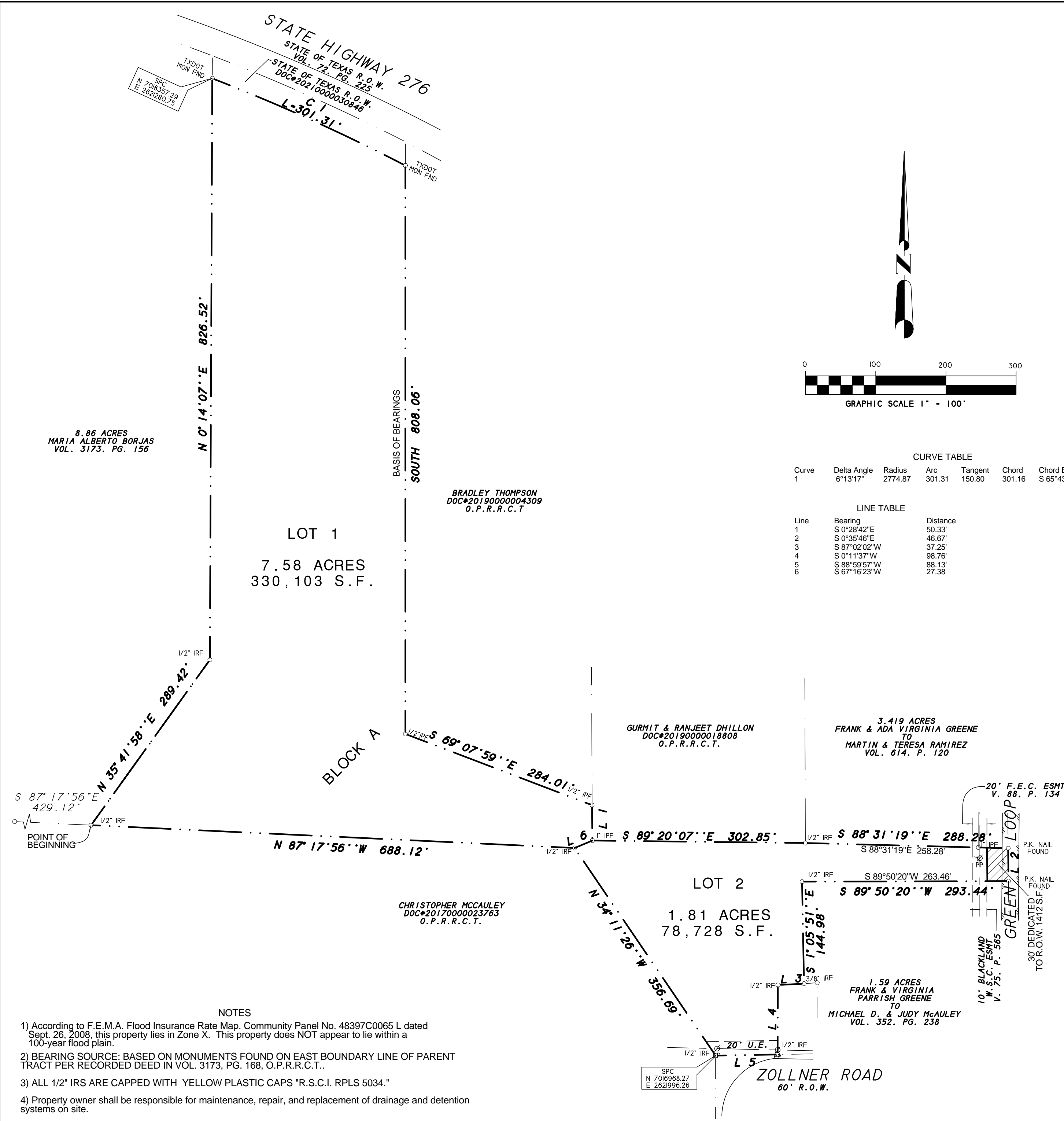


CURVE TABLE

Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	6°13'17"	2774.87	301.31	150.80	301.16	S 65°43'08"E

LINE TABLE

Line	Bearing	Distance
1	S 0°28'42"E	50.33'
2	S 0°35'46"E	46.67'
3	S 87°02'02"W	37.25'
4	S 0°11'37"W	98.76'
5	S 88°59'57"W	88.13'
6	S 67°16'23"W	27.38'



CONVEYANCE PLAT  
**BORJAS ADDITION**  
**LOT 1 & LOT 2, BLOCK A**  
 CONTAINING A TOTAL OF  
 9.42 ACRES/410,243 S.F.  
 ( 2 LOTS )  
 J.H. BAILEY SURVEY, A-45  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0065 L dated Sept. 26, 2008, this property lies in Zone X. This property does NOT appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: BASED ON MONUMENTS FOUND ON EAST BOUNDARY LINE OF PARENT TRACT PER RECORDED DEED IN VOL. 3173, PG. 168, O.P.R.R.C.T..
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."
  - 4) Property owner shall be responsible for maintenance, repair, and replacement of drainage and detention systems on site.

SYMBOL LEGEND

TV	TELEVISION CABLE	GAS	GAS METER	TEL	TEL POSE	TEL	TEL HYDRANT	FI	FIRE HYDRANT	PP	POWER POLE
ELEC	ELECTRIC METER	BOX	ELECTRIC BOX	W/M	WATER METER	LP	L.P. METER	LP	L.P. METER	1/2" IRF	1/2" IRF FOUND
---	EXISTENT LINE	---	PROPOSED LINE	A/C	AIR COND. UNIT	---	PROPANE TANK				

OWNER:  
 ANTONIO BORJAS  
 172 ZOLLNER ROAD  
 ROCKWALL, TEXAS 75032

H.D. Fetty Land Surveyor, LLC  
 Firm Registration no. 10150900  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

OWNER'S CERTIFICATE  
(Public Dedication)

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, ANTONIO BORJAS, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the JOHN H. BAILEY SURVEY, ABSTRACT NO. 45, City of Rockwall, Rockwall County, Texas, and being a part of that 28.79 acres Tract 2 as described in a Warranty deed from Robert Smith and Lawrence Jones and wife, Sue Jones, dated July 29, 1970 and being recorded in Volume 92, Page 29 of the Real Property Records of Rockwall County, Texas, and being a part of that tract of land as described in a Warranty deed to Antonio Borjas, as recorded in Volume 3173, Page 168 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the South boundary line of said 28.79 acres tract, said point being S. 87 deg. 17 min. 56 sec. E., 429.12 feet from a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at the base of a fence corner post at the Southwest corner of said 28.79 acres tract of land;

THENCE N. 35 deg. 41 min. 58 sec. E., a distance of 289.42 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 00 deg. 14 min. 07 sec. E., a distance of 826.52 feet to a TXDOT monument found for corner in the South right-of-way line of State Highway 276;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 06 deg. 13 min. 17 sec., a radius of 2744.87 feet, a tangent of 150.80 feet, a chord of S. 65 deg. 43 min. 08 sec. E., 301.16 feet along said right-of-way line, an arc distance of 301.31 feet to a TXDOT monument found for corner in the east line of Borjas tract;

THENCE SOUTH along the East line of said Borjas tract, a distance of 808.06 feet to a 1/2" iron pipe found for corner at the Southeast corner of same;

THENCE S. 69 deg. 07 min. 59 sec. E. a distance of 284.01 feet to a 1/2" iron rod pipe found for corner;

THENCE S. 00 deg. 28 min. 42 sec. E. a distance of 50.33 feet to a 1" iron pipe found for corner;

THENCE S. 89 deg. 20 min. 07 sec. E. a distance of 302.85 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at the Southwest corner of a 3.419 acres tract of land as described in a Deed to Martin and Teresa Ramirez, as recorded in Volume 614, Page 120 of the Real Property Records of Rockwall County, Texas;

THENCE S. 88 deg. 31 min. 19 sec. E. along the South line of said 3.419 acres tract, a distance of 288.28 feet to a P-K Nail for corner in the center of Green Loop;

THENCE S. 00 deg. 35 min. 46 sec. E. along the center of said road, a distance of 46.67 feet to a P-K nail for corner at the Northeast corner of a 1.59 acres tract of land as described in a Deed to Michael D. and Judy McAuley, as recorded in Volume 352, Page 238 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 50 min. 20 sec. W. along the North line of said 1.59 acres tract, a distance of 293.44 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner at the Northwest corner of same;

THENCE S. 01 deg. 05 min. 51 sec. E. a distance of 144.98 feet to a 3/8" iron rod found for corner;

THENCE S. 87 deg. 02 min. 02 sec. W. a distance of 37.25 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE S. 00 deg. 11 min. 37 sec. W. a distance of 98.76 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the North line of Zollner Road;

THENCE S. 88 deg. 59 min. 57 sec. W. along the North line of Zollner Road, a distance of 88.13 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 34 deg. 11 min. 26 sec. W. along the South line of said 28.79 acres tract, a distance of 356.69 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner;

THENCE N. 87 deg. 17 min. 56 sec. W. along the South line of said 28.79 acres tract, a distance of 688.12 feet to the POINT OF BEGINNING and containing 410,243 square feet or 9.42 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as BORJAS ADDITION, LOT 1 & LOT 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in BORJAS ADDITION, LOT 1 & LOT 2, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

ANTONIO BORJAS

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of BORJAS ADDITION, LOT 1 & LOT 2, BLOCK A an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall \_\_\_\_\_ City Secretary City of Rockwall \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

CONVEYANCE PLAT

BORJAS ADDITION  
LOT 1 & LOT 2, BLOCK A

CONTAINING A TOTAL OF  
9.42 ACRES/410,243 S.F.  
( 2 LOTS )

J.H. BAILEY SURVEY, A-45  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND											
TV	GAS	TEL	PH	PP							
TELEPHONE	METER	METER	METER	POWER							
CABLE RISER	RISE	RISE	HYDRANT	POLE							
ELEC	ELEC	WATER	LP	1/2" BF							
ELECTRIC	BOX	METER	METER	POLE AND FOUND							
METER	SUBSURFACE	JUNCTION BOX	WATER	1" CORNER							
---	---	---	---	---							
FENCE	EXEMPT LINE	---	AIR COND. UNIT	PROPANE TANK							

OWNER:  
ANTONIO BORJAS  
172 ZOLLNER ROAD  
ROCKWALL, TEXAS 75032

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ANTONIO BORJAS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires:

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE FEBRUARY 16, 2024  
SCALE 1" = 100' FILE #20031589-P  
CLIENT BORJAS GF # NONE

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT AND LIGHT INDUSTRIAL (LI) DISTRICT FOR A 9.4411-ACRE TRACT OF LAND IDENTIFIED AS TRACT 3-4 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 45, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Harold Fetty on behalf of Antonio Borjas for the approval of a Zoning Change from an Agricultural (AG) District to Single-Family Estate 1.5 (SFE-1.5) District and Light Industrial (LI) District on a 9.4411-acre tract of land identified as Tract 3-4 of the J. H. Bailey Survey, Abstract No. 45, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to Single-Family Estate 1.5 (SFE-1.5) District and Light Industrial (LI) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family Estate 1.5 (SFE-1.5) District and a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 03.01, *General Residential District Standards*; Section 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*; Section 05.01, *General Industrial District Standards*; Section 05.02, *Light Industrial (LI) District*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City

of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1<sup>ST</sup> DAY OF APRIL, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

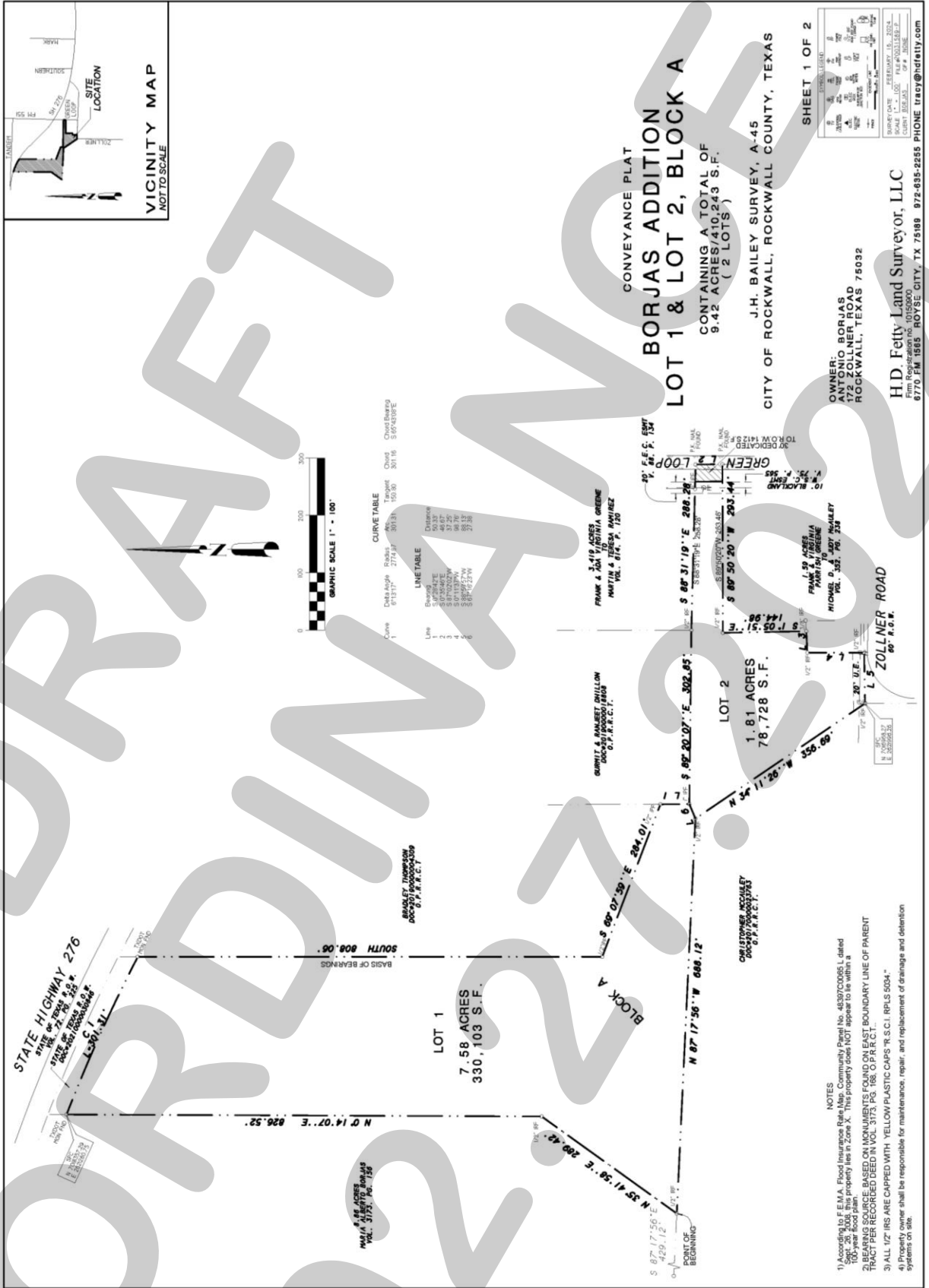
1<sup>st</sup> Reading: March 18, 2024

2<sup>nd</sup> Reading: April 1, 2024

**Exhibit 'A'**  
**Location Map**



**Exhibit 'B'**  
Zoning Exhibit



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: P2024-006  
PROJECT NAME: Lot 1, 2 &3, Block A, George Morton Estate  
SITE ADDRESS/LOCATIONS:  
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/23/2024	Approved w/ Comments

02/23/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1, 2 & 3, Block A, George Morton Estates Addition being a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2024-006) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat  
Lots 4-6, Block A  
George Morton Estate Addition  
Being a Replat of  
Lots 1-3, Block A  
George Morton Estate Addition  
Being three (3) lots  
5.083-Acres Or 221,408 SF  
Situated within the  
E. Teal Survey, Abstract No. 207  
City of Rockwall, Rockwall County, Texas

M.5 Please label the right-of-way widths and street centerlines. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances). Please remove the



variable width right-of-way and provide dimensions of the right-of-way adjacent to the right-of-way at the property corners.

M.6 Please verify the legal description. In addition, please make sure the degree, feet, and second on the plat and in the legal description are two (2) digits (e.g. 00° 00' 00"). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please update the signature block and standard plat wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(7)(D)(1)(a)(2), Section 38-7(7)(D)(3)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.9 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

- Planning and Zoning Work Session: February 27, 2024
- Parks Board Meeting: March 5, 2024
- Planning and Zoning Meeting: March 12, 2024
- City Council Meeting: March 18, 2024

I.10 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

- 02/23/2024: 1. Sight Visibility and sidewalk easement.
- 2. Portion on drainage will have to be abandoned. Building may not be within easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved

No Comments

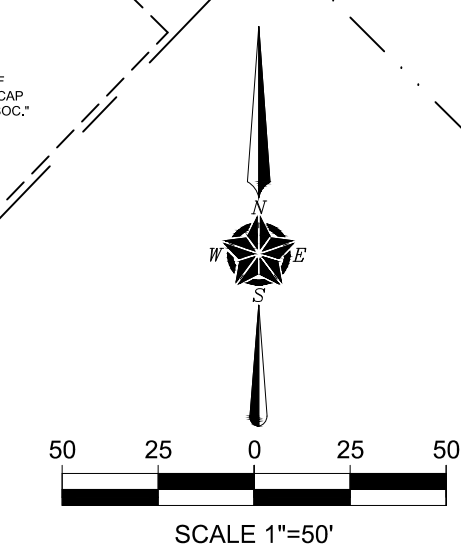
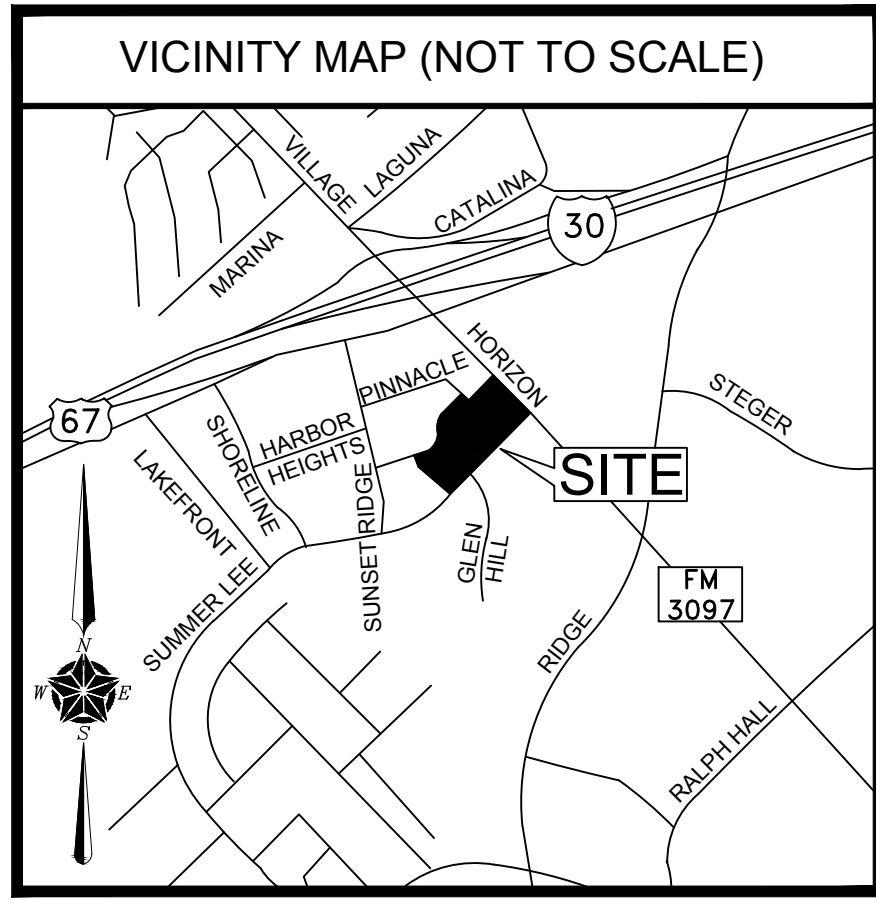
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/20/2024	Approved

- 02/20/2024: P2024-006 (Final Plat)
- Park District 17
- Cash In Lieu of Land: \$263.01 x 176 lots = \$46,289.76

Pro Rata Equipment Fee:  $\$246.84 \times 176 \text{ lots} = \$43,443.84$

Total per lot x lots:  $\$509.85 \times 176 \text{ lots} = \$89,733.60$

Tree mitigation and landscape plans will be required.



POINT OF BEGINNING  
STATE PLANE COORDINATES  
N = 7,014,291.739'  
E = 2,590,194.617'

STATE PLANE COORDINATES  
N = 7,013,625.487'  
E = 2,589,956.234'

**BLOCK A  
GEORGE MORTON ESTATE**  
GROSS = 221,408 SQ. FT. / 5.083 ACRES  
NET = 191,617 SQ. FT. / 4.399 ACRES

Portion on drainage will have to be abandoned. Building may not be within apartment.

Sight Visibility and sidewalk easement.

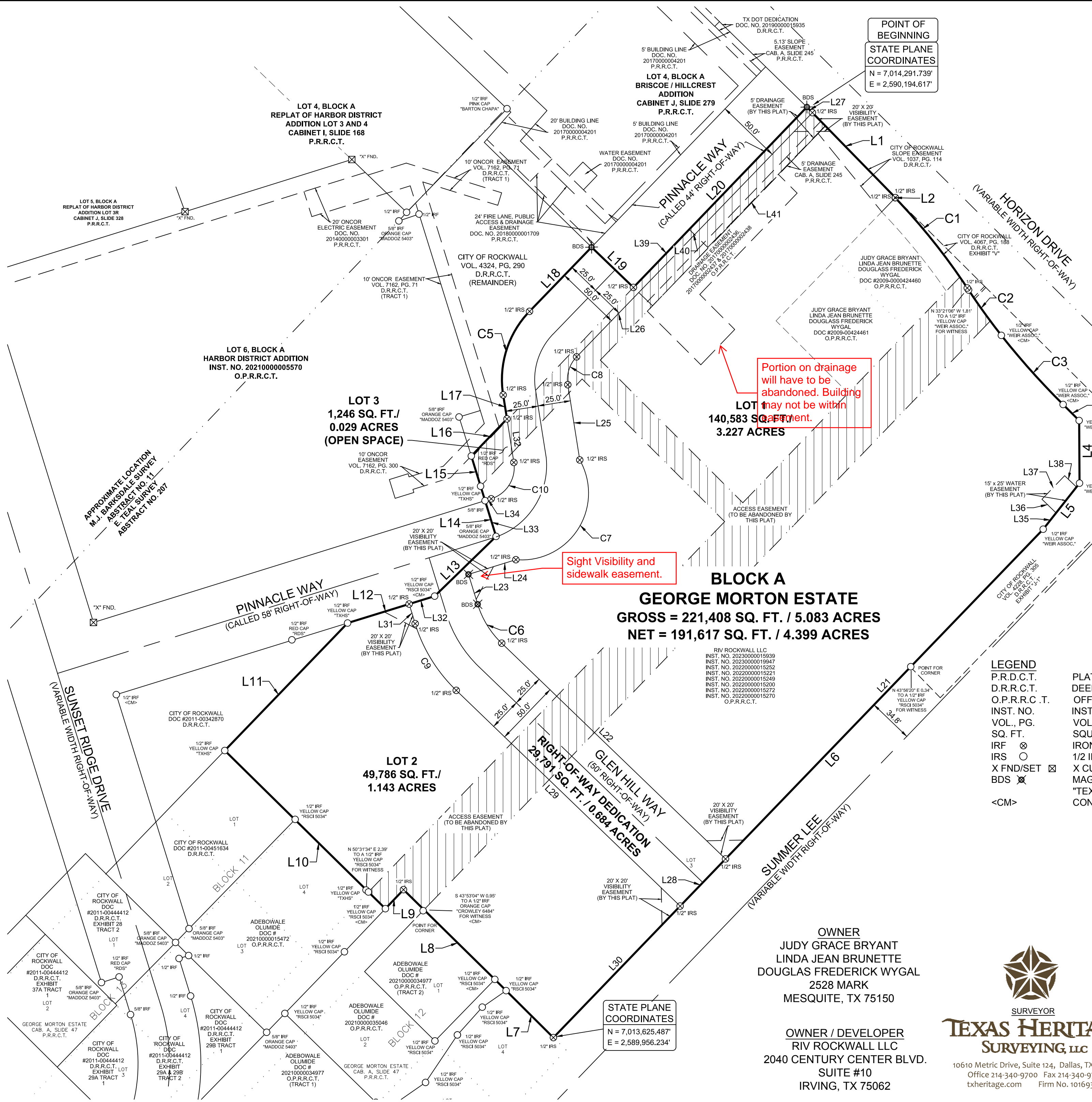
- LEGEND**
- P.R.D.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
  - D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
  - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
  - INST. NO. INSTRUMENT NUMBER
  - VOL., PG. VOLUME, PAGE
  - SQ. FT. SQUARE FEET
  - IRF IRON ROD FOUND
  - IRS 1/2 INCH IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "TXHS"
  - X FND/SET X CUT FOUND/SET
  - BDS MAG NAIL SET WITH 2 INCH BRASS WASHER STAMPED "TEXAS HERITAGE SURVEYING & RPLS 5382"
  - <CM> CONTROL MONUMENT

**FINAL PLAT  
GEORGE MORTON ESTATE  
LOTS 1, 2 & 3, BLOCK A**  
221,408 SQUARE FEET OR  
5.083 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

**TEXAS HERITAGE SURVEYING, LLC**  
10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com Firm No. 10169300

**OWNER**  
JUDY GRACE BRYANT  
LINDA JEAN BRUNETTE  
DOUGLAS FREDERICK WYGAL  
2528 MARK  
MESQUITE, TX 75150

**OWNER / DEVELOPER**  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and  
 SUBDIVISION the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the  
 GENERAL LOCATION southwest corner of the intersection of Horizon Road and Summer Lee Drive.

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-32	CURRENT USE	Undeveloped
PROPOSED ZONING	PD-32	PROPOSED USE	Condominium
ACREAGE	5.083 Acres	LOTS [CURRENT]	N/A
		LOTS [PROPOSED]	N/A

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Agent		<input checked="" type="checkbox"/> APPLICANT	RIV Rockwall LLC
CONTACT PERSON		CONTACT PERSON	Brad Boswell and Asher Hamilton
ADDRESS		ADDRESS	2040 Century Center Blvd Suite #10
CITY, STATE & ZIP		CITY, STATE & ZIP	Irving, TX 75062
PHONE		PHONE	(214) 493-3346
E-MAIL		E-MAIL	bboswell@realtyinvestments.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

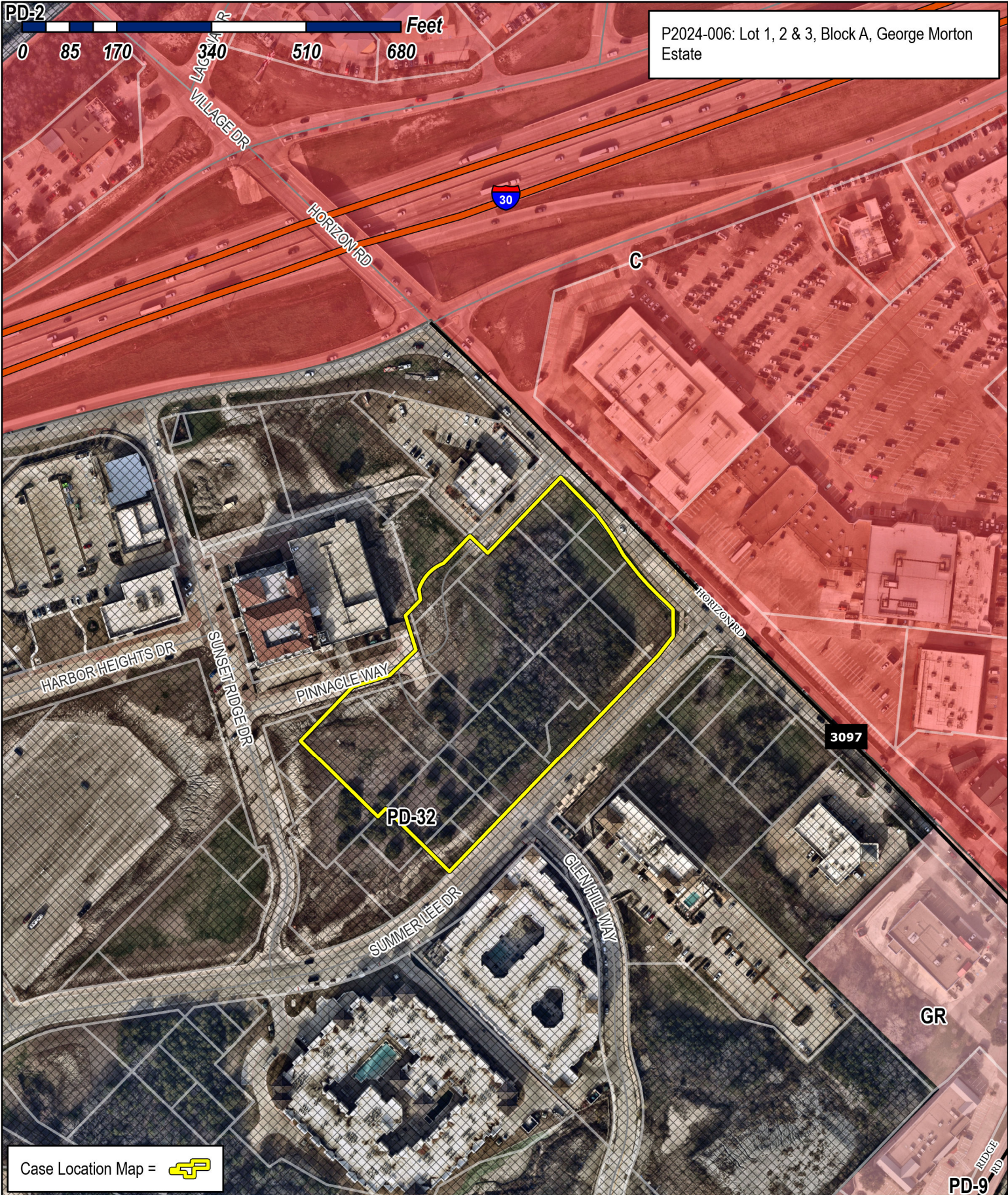
OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_



P2024-006: Lot 1, 2 & 3, Block A, George Morton Estate



Case Location Map = 

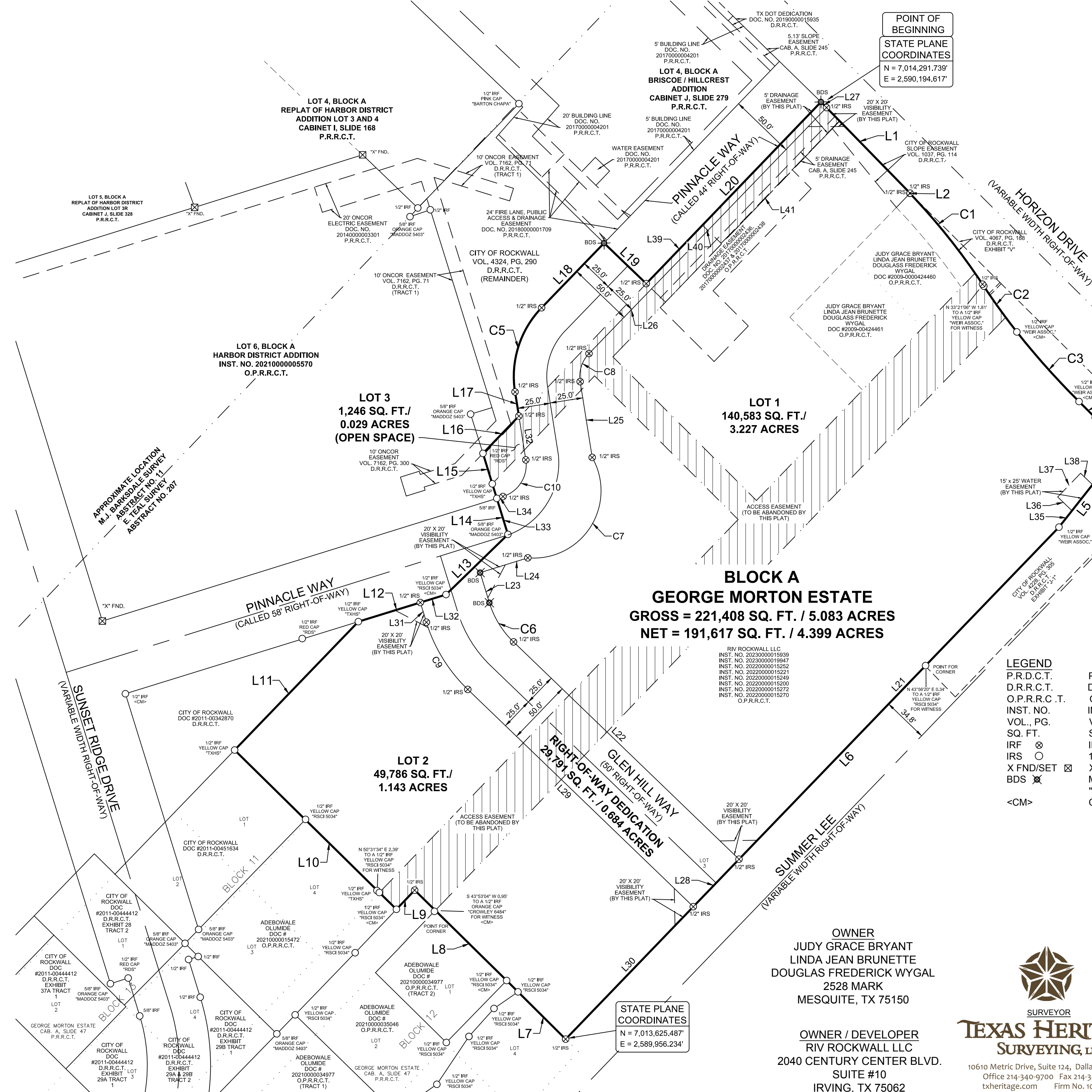
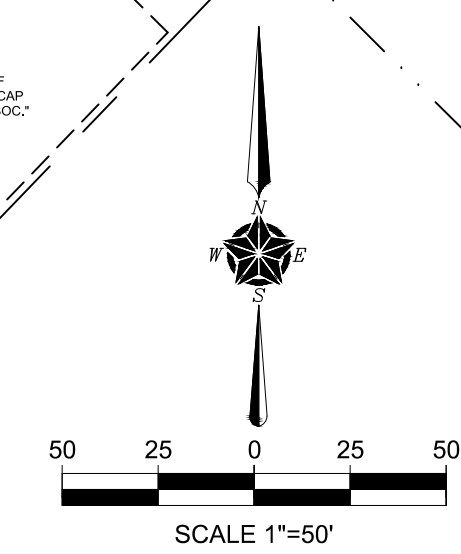
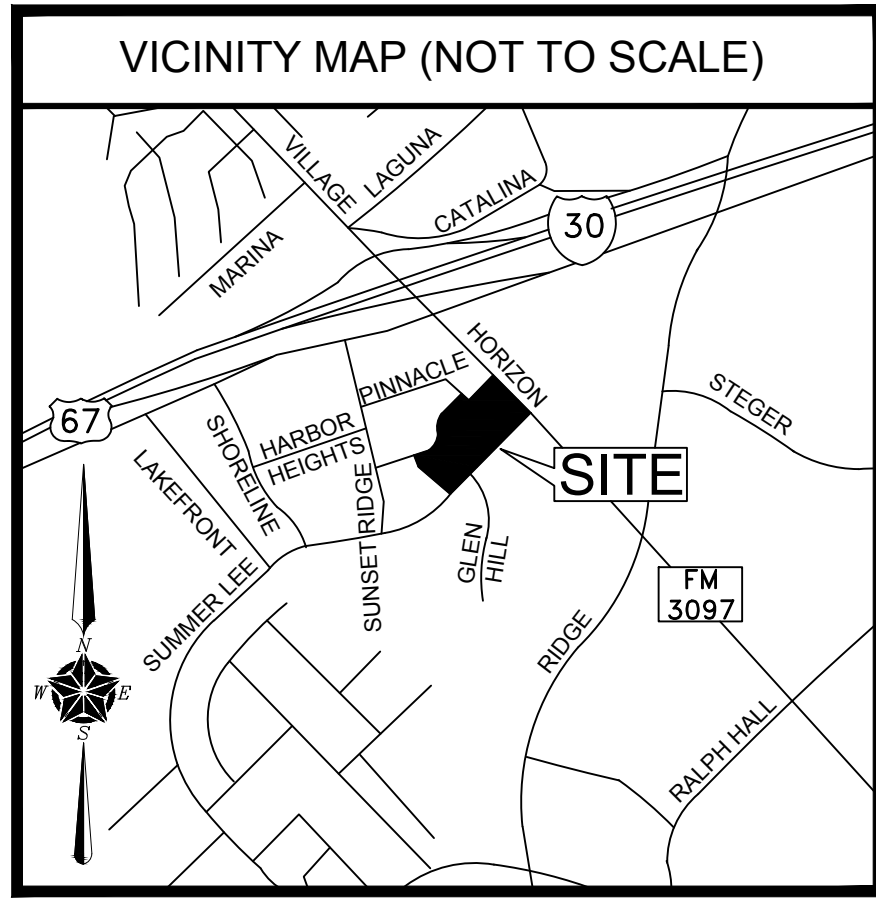


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





POINT OF BEGINNING  
STATE PLANE COORDINATES  
N = 7,014,291.739'  
E = 2,590,194.617'

**BLOCK A  
GEORGE MORTON ESTATE**  
GROSS = 221,408 SQ. FT. / 5.083 ACRES  
NET = 191,617 SQ. FT. / 4.399 ACRES

RIV ROCKWALL LLC  
INST. NO. 2023000015939  
INST. NO. 2023000015947  
INST. NO. 2022000015252  
INST. NO. 2022000015221  
INST. NO. 2022000015249  
INST. NO. 2022000015200  
INST. NO. 2022000015272  
INST. NO. 2022000015270  
O.P.R.R.C.T.

- LEGEND**
- P.R.D.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
  - D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
  - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
  - INST. NO. INSTRUMENT NUMBER
  - VOL., PG. VOLUME, PAGE
  - SQ. FT. SQUARE FEET
  - IRF IRON ROD FOUND
  - IRS 1/2 INCH IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "TXHS"
  - X FND/SET X CUT FOUND/SET
  - BDS MAG NAIL SET WITH 2 INCH BRASS WASHER STAMPED "TEXAS HERITAGE SURVEYING & RPLS 5382"
  - <CM> CONTROL MONUMENT

**FINAL PLAT  
GEORGE MORTON ESTATE  
LOTS 1, 2 & 3, BLOCK A**  
221,408 SQUARE FEET OR  
5.083 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

**OWNER**  
JUDY GRACE BRYANT  
LINDA JEAN BRUNETTE  
DOUGLAS FREDERICK WYGAL  
2528 MARK  
MESQUITE, TX 75150

**OWNER / DEVELOPER**  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062

**TEXAS HERITAGE  
SURVEYING, LLC**  
10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com Firm No. 10169300

JOB # 2202266-8 / SCALE= 1" = 50' / DRAWN: KO / 01/31/2024  
PAGE 1 OF 3

**CASE # P2023-008**

OWNER'S CERTIFICATE  
(PUBLIC DEDICATION)

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, being a portion of that tract of land described as George Morton Estate, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 47, Plat Records, Rockwall County, Texas, and being that same tract of land as shown on the Conveyance Plat of George Morton Estate, Lots 1, 2 & 3, Block A as recorded in Instrument Number 2023000009727, Official Public Records, Rockwall County, Texas, said tract being inclusive of those tracts of land contained in the following deeds:

that tract of land described in Deed Without Warranty to RIV ROCKWALL LLC as recorded in Instrument Number 20230000019947, Official Public Records, Rockwall County, Texas, along with that tract of land described in Special Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20230000015939, Official Public Records, Rockwall County, Texas, along with that tract of land described in General Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20220000015252, Official Public Records, Rockwall County, Texas, along with that tract of land described in General Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20220000015221, Official Public Records, Rockwall County, Texas, along with that tract of land described in General Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20220000015249, Official Public Records, Rockwall County, Texas, along with that tract of land described in General Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20220000015200, Official Public Records, Rockwall County, Texas, along with that tract of land described in General Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20220000015272, Official Public Records, Rockwall County, Texas, along with that tract of land described in General Warranty Deed to Riv Rockwall LLC as recorded in Instrument Number 20220000015270, Official Public Records, Rockwall County, Texas,

also including that tract of land as described in Special Warranty Deed to Judy Grace Bryant, Linda Jean Brunette, Douglas Frederick Wygal as recorded in Instrument Number 2009-424461, Official Public Records, Rockwall County, Texas, and that tract of land as described in Special Warranty Deed to Judy Grace Bryant, Linda Jean Brunette, Douglas Frederick Wygal as recorded in Instrument Number 2009-424460, Official Public Records, Rockwall County, Texas, together being more particularly described by metes and bounds as follows:

BEGINNING at a Mag Nail set with 2 inch brass washer stamped "TEXAS HERITAGE SURVEYING & RPLS 5382" for the intersection of the east corner of Pinnacle Way (called 44' right-of-way) and the southwest right-of-way line of Horizon Road (variable width right-of-way);

THENCE along the said southwest right-of-way line of Horizon Road the following bearings and distances;

THENCE South 44 degrees 18 minutes 46 seconds East, a distance of 96.72 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for an ell corner;

THENCE South 44 degrees 47 minutes 34 seconds West, a distance of 0.17 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for an ell corner, same being the start of a tangent curve to the right having a radius of 489.50 feet a delta angle of 10 degrees 20 minutes 09 seconds and a chord bearing and distance of South 38 degrees 37 minutes 33 seconds East 88.18 feet;

THENCE with the curve to the right, an arc distance of 88.30 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the end of said curve, same being the start of a tangent curve to the left having a radius of 510.50 feet a delta angle of 05 degrees 00 minutes 25 seconds and a chord bearing and distance of South 35 degrees 45 minutes 12 seconds East 44.61 feet, from which a 1/2 inch iron rod found with yellow plastic cap stamped "WEIR ASSOC" bears North 33 degrees 21 minutes 06 seconds West 1.81 feet;

THENCE with the curve to the left, an arc distance of 44.61 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "WEIR ASSOC." for the end of said curve, same being the start of a tangent curve to the right having a radius of 576.50 feet a delta angle of 07 degrees 02 minutes 15 seconds and a chord bearing and distance of South 41 degrees 46 minutes 32 seconds East 70.77 feet;

THENCE with the curve to the right, an arc distance of 70.81 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "WEIR ASSOC." for the end of said curve;

THENCE South 45 degrees 02 minutes 23 seconds East, a distance of 17.32 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "WEIR ASSOC." for the north corner of a clip corner at the intersection of the present northwest right-of-way line of Summer Lee Drive (variable width right-of-way) and said southwest right-of-way line of Horizon Road;

THENCE South 00 degrees 21 minutes 42 seconds East, along the clip corner transition from said Horizon Road to Summer Lee Drive, a distance of 47.83 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "WEIR ASSOC." for an angle point;

THENCE along the said present northwest right-of-way line of Summer Lee Drive the following bearings and distances;

THENCE South 38 degrees 15 minutes 42 seconds West, a distance of 44.82 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "WEIR ASSOC. for an angle point"

THENCE South 43 degrees 56 minutes 20 seconds West, a distance of 539.17 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" ell corner;

THENCE North 45 degrees 10 minutes 59 seconds West, with said present northwest right-of-way line of Summer Lee Drive, passing at a distance of 50.90 feet a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the southeast corner of that tract of land described as Tract 2 in Special Warranty Deed to Olumide Adebowale as recorded in Document No. 2021-0000035046, Official Public Records, Rockwall County, Texas and continuing for a total distance of 63.07 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the east corner of that tract of land described as Tract 2 in Special Warranty Deed to Olumide Adebowale as recorded in Document No. 2021-0000034977, Official Public Records, Rockwall County, Texas;

THENCE North 45 degrees 30 minutes 04 seconds West, along the northeast line of said Olumide Adebowale tracts, a distance of 97.78 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for an ell corner;

THENCE South 43 degrees 34 minutes 18 seconds West, along the northwest line of said Adebowale 2021-0000035046 tract, a distance of 20.05 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034" for the east corner of that tract of land described in General Warranty Deed to Olumide Adebowale as recorded in Document No. 2021-0000015472, Official Public Records, Rockwall County, Texas;

THENCE North 45 Degrees 27 minutes 27 seconds West, along the northeast line of said Adebowale 2021-0000015472 tract, passing at a distance of 96.96 feet the north corner of said Adebowale 2021-0000015472 tract, same being the east corner of that tract of land described in General Warranty Deed to City of Rockwall as recorded in Document No. 2011-0000451634, Official Public Records, Rockwall County, Texas, and continuing for a total distance of 172.17 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" in the southeast line of that tract of land described in General Warranty Deed to RIV Rockwall LLC as recorded in Document No. 2011-0000342870, Official Public Records, Rockwall County, Texas;

THENCE North 43 degrees 56 minutes 50 seconds East, along the southeast line of RIV ROCKWALL LLC tract 2011-0000342870, a distance of 135.24 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" in the southeast right-of-way line of Pinnacle Way (called 58' right-of-way);

THENCE North 72 degrees 48 minutes 50 seconds East, along the said southeast right-of-way line of Pinnacle Way, a distance of 69.59 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "RSCI 5034";

THENCE North 45 degrees 47 minutes 44 seconds East, traversing said Pinnacle Way, a distance of 65.45 feet to a 5/8 inch iron rod found with orange plastic cap stamped "MADDOX 5403" for an angle corner;

THENCE North 17 degrees 11 minutes 07 seconds West, along the northeast end of said Pinnacle way, passing a 5/8 inch iron rod found at a distance of 28.53 feet for the northeast corner of said Pinnacle Way, same being the east corner of Lot 6, Block A, Harbor District Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Document No. 2021000005570, Plat Records, Rockwall County, Texas, and continuing along the south northeast line of said Lot 6, Block A for a total distance of 40.12 feet to a 1/2 inch iron rod found for the south corner of the remainder of that tract of land described in General Warranty Deed to City of Rockwall recorded in Volume 4324, Page 290, Deed Records, Rockwall, County, Texas;

THENCE North 17 degrees 03 minutes 53 seconds West, continuing along the south northeast line of said Lot 6, Block A, a distance of 24.13 feet to a 1/2 inch iron rod found with red plastic cap stamped "RDS";

THENCE North 43 degrees 53 minutes 04 seconds East, along the southeast line of said City of Rockwall remainder tract, a distance of 39.31 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for an angle point;

THENCE North 08 degrees 59 minutes 31 seconds West, traversing said City of Rockwall remainder tract, a distance of 18.52 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the start of a tangent curve to the right having a radius of 75.00 feet a delta angle of 52 degrees 59 minutes 15 seconds and a chord bearing and distance of North 17 degrees 30 minutes 06 seconds East 66.92 feet;

THENCE along said curve to the right, continuing to traverse said City of Rockwall remainder tract, an arc distance of 69.36 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the end of said curve;

THENCE North 43 degrees 59 minutes 44 seconds East, continuing to traverse said City of Rockwall remainder tract, a distance of 68.22 feet to a Mag Nail set with 2 inch brass washer stamped "TEXAS HERITAGE SURVEYING & RPLS 5382" for the south corner of Lot 4, Block A, Briscoe / Hillcrest Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 279, Plat Records, Rockwall County, Texas;

THENCE South 46 degrees 06 minutes 56 seconds East along the northeast line of said City of Rockwall remainder tract, along the southwest end of Pinnacle Way, a distance of 44.37 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "TXHS" for the south corner of said Pinnacle Way at the northwest line of the northwest 20' easement of the George Morton Estate plat;

THENCE North 43 degrees 53 minutes 04 seconds East, along the southeast line of said Pinnacle Way, a distance of 191.14 feet to the POINT OF BEGINNING and containing 221,408 square feet of 5.083 acres of land more or less.

PARCEL LINE TABLE			PARCEL LINE TABLE			PARCEL LINE TABLE			PARCEL LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	96.72'	S44°18'46"E	L11	135.24'	N43°56'50"E	L21	349.69'	N43°56'20"E	L31	15.66'	N17°11'10"W
L2	0.17'	S44°47'34"W	L12	69.59'	N72°48'50"E	L22	237.45'	S46°03'40"E	L32	20.42'	S72°48'56"W
L3	17.32'	S45°02'23"E	L13	65.45'	N45°47'44"E	L23	23.92'	S17°11'10"E	L32	33.63'	S8°59'29"E
L4	47.83'	S0°21'42"E	L14	40.12'	N17°11'07"W	L24	37.91'	S72°48'50"W	L33	28.54'	S17°11'09"E
L5	44.82'	S38°15'42"W	L15	24.13'	N17°03'53"W	L25	58.21'	S8°59'31"E	L34	4.92'	N72°48'50"E
L6	539.17'	S43°56'20"W	L16	39.31'	N43°53'04"E	L26	68.31'	S43°59'44"W			
L7	63.07'	N45°10'59"W	L17	18.52'	N8°59'31"W	L27	5.63'	N46°06'56"W			
L8	97.78'	N45°30'04"W	L18	68.22'	N43°59'44"E	L28	50.00'	N43°56'17"E			
L9	20.05'	S43°34'18"W	L19	44.37'	S46°06'56"E	L29	237.45'	N46°03'40"W			
L10	172.17'	N45°27'27"W	L20	191.14'	N43°53'04"E	L30	139.50'	N43°56'20"E			

BOUNDARY CURVE TABLE					INSIDE CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	88.30'	489.50'	10°20'09"	S38°37'33"E 88.18'	C7	111.15'	51.00'	124°52'19"	S32°39'00"W 90.42'
C2	44.61'	510.50'	5°00'25"	S35°45'12"E 44.60'	C8	23.12'	25.00'	52°59'15"	S17°30'06"W 22.31'
C3	70.81'	576.50'	7°02'15"	S41°46'32"E 70.77'	C9	60.48'	120.00'	28°52'29"	N31°37'25"W 59.84'
C5	69.36'	75.00'	52°59'15"	N17°30'06"E 66.92'	C10	35.69'	25.00'	81°48'21"	S31°54'39"W 32.74'
C6	35.28'	70.00'	28°52'29"	S31°37'25"E 34.91'					

EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L35	15.89'	N38°15'42"E
L36	15.00'	N46°03'40"W
L37	25.00'	N43°56'20"E
L38	12.51'	S46°03'40"E
L39	61.44'	N43°53'04"E
L40	19.75'	N46°00'16"W
L41	129.11'	S43°59'44"W

OWNER  
JUDY GRACE BRYANT  
LINDA JEAN BRUNETTE  
DOUGLAS FREDERICK WYGAL  
2528 MARK  
MESQUITE, TX 75150

OWNER / DEVELOPER  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062



**FINAL PLAT**  
**GEORGE MORTON ESTATE**  
**LOTS 1, 2 & 3, BLOCK A**  
221,408 SQUARE FEET OR  
5.083 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

JOB # 2202266-8 / SCALE= 1" = 50' / DRAWN: KO / 01/31/2024  
PAGE 2 OF 3

**CASE # P2023-008**

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

THAT THE CITY OF ROCKWALL, acting herein by and through its duly authorized officers, do hereby adopt this plat designating the herein above described property as **GEORGE MORTON ESTATE, LOTS 1, 2 & 3, BLOCK A**, an addition to the City of Rockwall, Rockwall County, Texas, and do hereby dedicate to the public use forever the streets and alleys shown thereon, and does hereby reserve the easement strips shown on this plat for the mutual use and accommodations of all public utilities desiring to or using same. Any public utility shall have the right to remove and keep removed all or part of any building, fence, trees, shrubs or other growths or improvements which in any way endangers or interferes with the construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time procuring permission of anyone.

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the GEORGE MORTON ESTATE, LOTS 1,2 & 3, BLOCK A subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the GEORGE MORTON ESTATE, LOTS 1,2 & 3, BLOCK A subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

GENERAL NOTES

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

(5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

OWNER'S DEDICATION CONTINUED

CI (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public

services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

RIV ROCKWALL LLC

\_\_\_\_\_  
ASHER HAMILTON - PARTNER

STATE OF TEXAS

COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ASHER HAMILTON, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

\_\_\_\_\_  
JUDY GRACE BRYANT, INDIVIDUALLY

STATE OF TEXAS

COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared JUDY GRACE BRYANT, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

\_\_\_\_\_  
DOUGLASS FREDRICK WYGAL, INDIVIDUALLY AND AS INDEPENDENT EXECUTOR OF THE ESTATE

OF LINDA DOUGLASS BRUNETTE, DECEASED

STATE OF TEXAS

COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DOUGLASS FREDRICK WYGAL, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

I, J.R. JANUARY, a Registered Professional Land Surveyor R.P.L.S. 5382, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

\_\_\_\_\_  
SURVEYOR

\_\_\_\_\_  
REGISTERED PUBLIC SURVEYOR NO.

CITY SIGNATURE BLOCK

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION DATE

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
MAYOR, CITY OF ROCKWALL

\_\_\_\_\_  
CITY SECRETARY

\_\_\_\_\_  
CITY ENGINEER

OWNER  
JUDY GRACE BRYANT  
LINDA JEAN BRUNETTE  
DOUGLAS FREDERICK WYGAL  
2528 MARK  
MESQUITE, TX 75150

OWNER / DEVELOPER  
RIV ROCKWALL LLC  
2040 CENTURY CENTER BLVD.  
SUITE #10  
IRVING, TX 75062



**FINAL PLAT**  
**GEORGE MORTON ESTATE**  
**LOTS 1, 2 & 3, BLOCK A**  
221,408 SQUARE FEET OR  
5.083 ACRES OF LAND  
SITUATED IN THE  
E. TEAL SURVEY,  
ABSTRACT NO. 207  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
JOB # 2202266-8 / SCALE= 1" = 50' / DRAWN: KO / 01/31/2024  
PAGE 3 OF 3  
**CASE # P2023-008**



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-003  
PROJECT NAME: Site Plan for 196 & 216 Ranch Trail  
SITE ADDRESS/LOCATIONS: 196 & 216 Ranch Trail

CASE CAPTION: Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kevin Lloyd of 1800 Dalrock, LLC for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	02/23/2024	Approved w/ Comments

02/23/2024: SP2024-003: Site Plan for Two (2) Metal Buildings at 196 & 216 Ranch Trail  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for two (2) metal buildings in conjunction with two (2) existing commercial/industrial buildings on a 1.55-acre parcel of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Trail.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (SP2024-003) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Provide a corrected signature block as shown below with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, of Article 11, UDC)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

#### M.5 Site Plan

- (1) Please label the fire lanes as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (2) Indicate the distance between all existing and planned buildings on site. (Subsection 03.04. B, of Article 11, UDC)
- (3) Provide dumpster enclosure elevations; the dumpster enclosure gate must be self-latching. (Subsection 01.05. B, of Article 05, UDC)

- (4) Check dumpster location with Republic for ease of access.
- (5) Indicate any ground mounted HVAC units on the site plan and building elevations and show any subsequent required screening. (Subsection 01.05. C, of Article 05, UDC)
- (6) Please provide an elevation of the proposed dumpster enclosure. Per the Unified Development Code (UDC) this enclosure shall be finished in the same materials as the primary structure, shall have a self-latching gate, and shall be a minimum of six (6) feet in height. (Subsection 01.05. B, of Article 05, UDC)
- (7) The dumpster enclosure cannot be located within any building setbacks. Please change the location on the site plan.
- (8) Please indicate any type and location of existing or proposed fences. (Subsection 08.02 F, of Article 05, UDC)
- (9) Please provide a note that there will be no outside storage.
- (10) Please change lot number on all pages from "Lot 5" to "Lot 7".
- (11) The building located adjacent to the northern property line is currently setback 9.95-feet, but is required to be a minimum of ten (10) feet from the property line. Please change this to be in conformance with the setback requirements contained in Article 05, District Development Standards, of the UDC.
- (12) What is the block pattern in the driveway at the front? It appears to block the proposed parallel parking.

#### M.6 Building Elevations:

- (1) According to Subsection 04.01 (A)(1) of Article 05, District Development Standards, of the Unified Development Code (UDC), "all structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system..." In this case, the proposed roof pitches on both buildings is 2:12. This will be an exception.
- (2) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary and secondary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- (3) Provide building elevations for the dumpster enclosure. Dumpster enclosures shall be finished in the same materials as the primary structure, shall have a self-latching gate, and shall be a minimum of six (6) feet in height. (Subsection 01.05. B, of Article 05, UDC)

#### M.7 Landscape Plan

- (1) According to Subsection 05.01(B) of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), a ten (10) foot landscape buffer with built-up berm, ground cover, and shrubbery is required adjacent to Ranch Trail. In addition, this landscape buffer requires a minimum of one (1) canopy tree and one (1) accent tree per 50-linear feet. In this case, you will need eight (8) canopy trees and eight (8) accent trees along Ranch Trail.
- (2) Provide a note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08, UDC) There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. (Subsection 05.03.D, of Article 08, UDC). In this case, you will need three (3) canopy trees and two (2) accent trees along the detention area.
- (3) Please identify all required landscape buffers AND BERMS on the Landscape Plan.
- (4) Please note that all retaining walls shall be finished in rock or stone.
- (5) Indicate screening of HVAC units on this plan. This will be required for proposed and existing units.
- (6) Please note that vitex castus is not an approved shrub or accent tree. Please replace this with a recommended shrub or accent tree from our list as shown in Appendix C, Landscaping Guidelines and Requirements, of the UDC.
- (7) Please provide headlight screening adjacent to the parking spaces along the northern and southern property lines.
- (8) Please provide additional screening for the loading docks for all buildings. This is being required in accordance with Subsection 02.01, Applicability, of Article 08, Landscape and Fence Standards, of the UDC.

#### M.8 Photometric Plan

- (1) According to Subsection 03.03(C) of Article 07, Environmental Performance, of the Unified Development Code (UDC) the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. Please note that the current plans exceed this adjacent to all property lines. Please correct this issue.
- (2) Please provide cut sheets/specification sheets for ALL proposed light fixtures.
- (3) Please indicate the pole height of any proposed light poles.

M.9 Staff has identified the following exceptions based on the plans that were submitted: [1] Roof Design Standards, [2] Primary Building Articulation, and [3] Secondary Building Articulation; however, if corrections are not made as stated above additional exceptions may be required. Some of these exceptions can be corrected by changing the plans to conform to the code requirements; however, should you choose to request exceptions with this case please provide a letter that outlines each requested exception, the reason the exception is being requested (i.e. the hardship that prevents you from meeting the code requirements), and the required two (2) compensatory measures required by the code to request the exception. Please note that the compensatory measures must directly off-set the requested exception. In this case, six (6) compensatory measures (or more if more

exceptions are requested) would be needed in lieu of the three (3) noted exceptions. Exceptions require a super-majority vote (or three-fourths vote) of the Planning and Zoning Commission for approval (e.g. six [6] out of the seven [7] members).

I.10 Please note that failure to address all comments provided by staff will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case must be submitted no later than March 5, 2024 to give staff ample time to review the case prior to the March 12, 2024 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session will be held on February 27, 2024.
- 2) Planning & Zoning Public Hearing will be held on March 12, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

I.14 If the Planning and Zoning Commission approves this site plan case, the applicant will be responsible for submitting hard copies of the final site plan submittal package -- with all comments addressed -- for signatures from the Planning and Zoning Commission Chairman and Director of Planning and Zoning. Please note that this will be required to be completed prior to the acceptance of civil engineering plans.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

- 02/23/2024: 1. Parking spaces may not be blocking garage doors.  
 2. 10' minimum separation.  
 3. Parking spaces may not be blocking garage doors.  
 4. Dumpster must drain to an oil/water separator before draining to detention pond.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Needs Review

- 02/22/2024: \* Dumpster enclosure must be a minimum of 10 feet from the property line  
 \* Dumpster enclosure is not allowed to have a fence. Enclosure must meet the design requirements of the Unified Development Code  
 \*\* Dumpster enclosure shall also have a inlet that will drain into a oil/water separator before discharging to the storm water line/inlet.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved w/ Comments

- 02/20/2024: 4160sf Southern-most Bldg. will be 200 RANCH TRAIL, ROCKWALL, TX 75032  
 3060sf Northern-most Bldg. will be 224 RANCH TRAIL, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved

No Comments

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

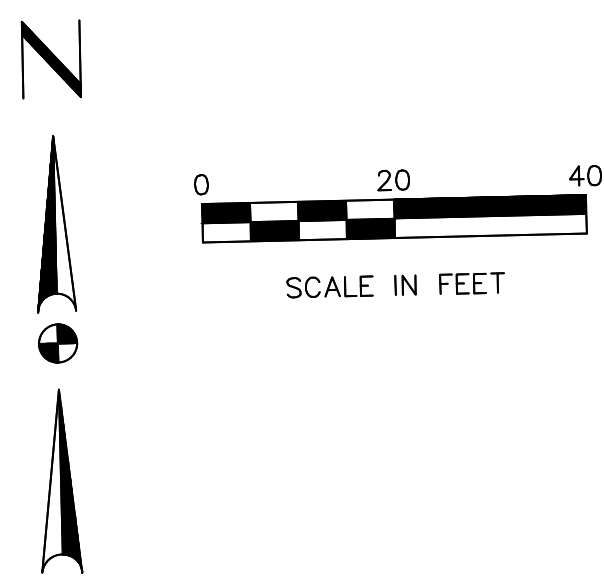
PARKS

Travis Sales

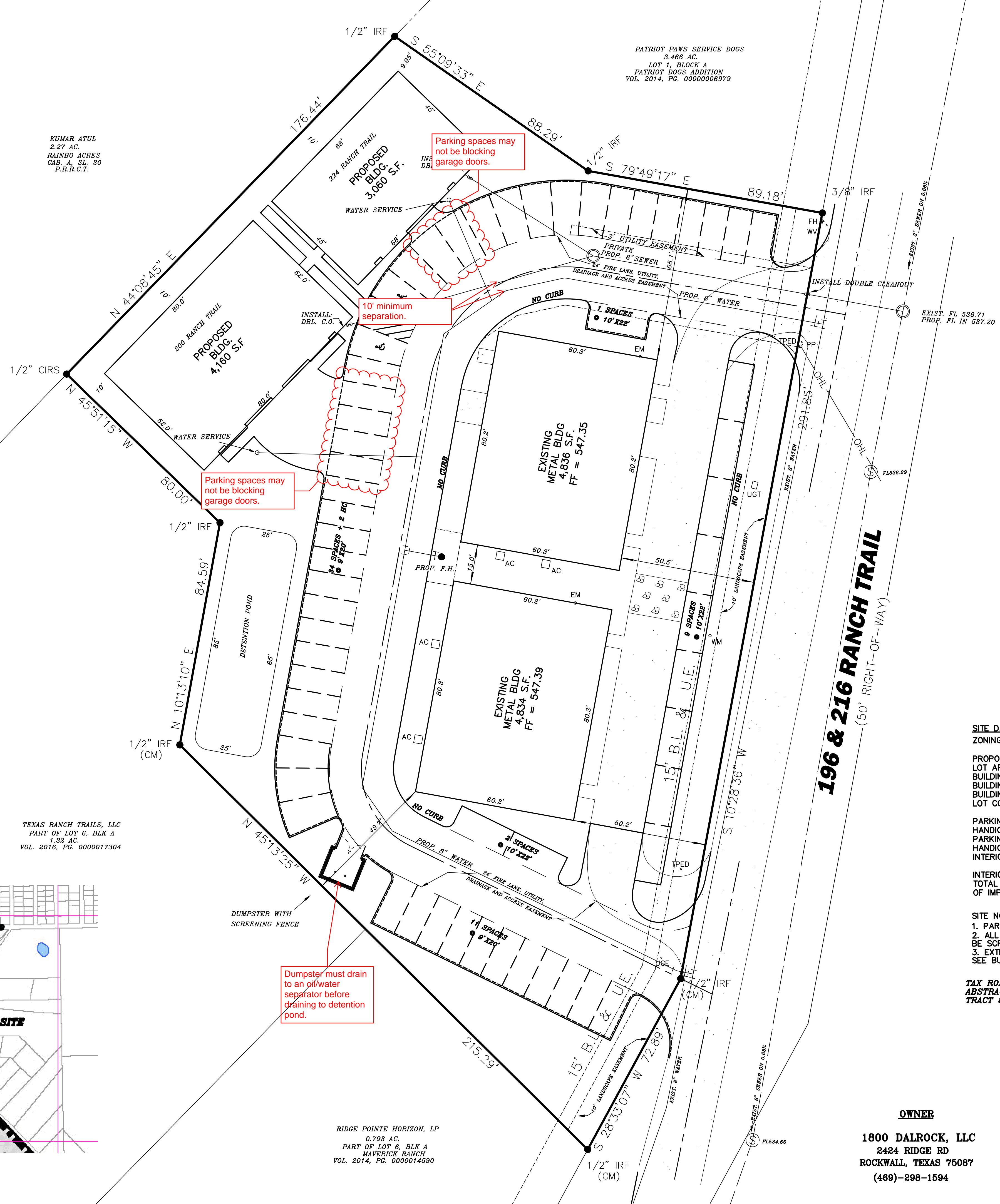
02/20/2024

Approved w/ Comments

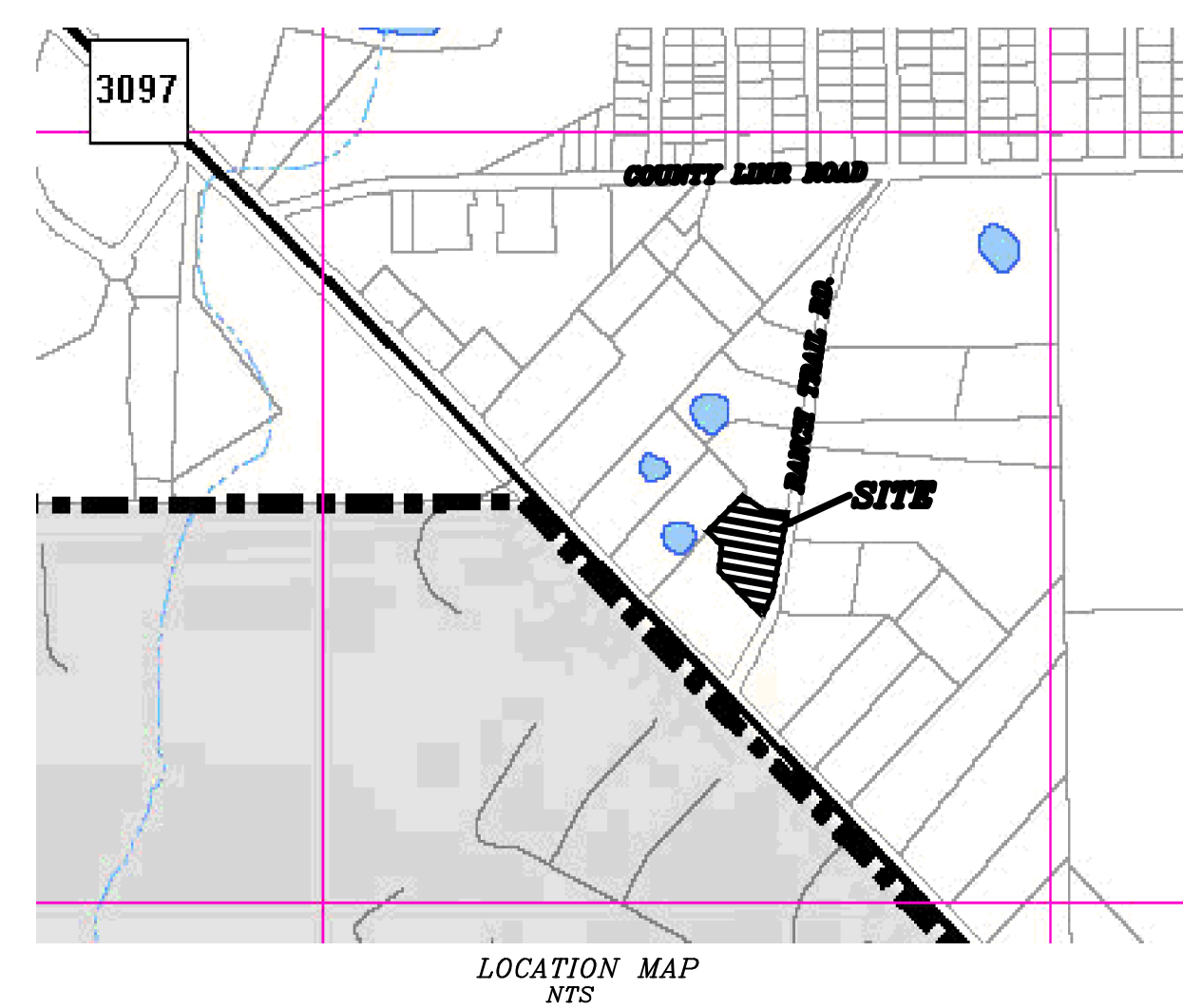
02/20/2024: Make sure you wrap your Autumn Blaze Maples for the first year to prevent sunscald on trunks



KUMAR ATUL  
2.27 AC.  
RAINBO ACRES  
CAB. A. SL. 20  
P.R.R.C.T.



TEXAS RANCH TRAILS, LLC  
PART OF LOT 6, BLK A  
1.32 AC.  
VOL. 2016, PG. 0000017304



LOCATION MAP  
NTS

Dumpster must drain to an oil/water separator before draining to detention pond.

RIDGE POINTE HORIZON, LP  
0.793 AC.  
PART OF LOT 6, BLK A  
MAVERICK RANCH  
VOL. 2014, PG. 0000014590

PATRIOT PAWS SERVICE DOGS  
3.466 AC.  
LOT 1, BLOCK A  
PATRIOT DOGS' ADDITION  
VOL. 2014, PG. 0000006979

**SITE DATA SUMMARY**

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1,550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	57 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

- SITE NOTES:**
1. PARKING SPACES ARE 9'X20'
  2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
  3. EXTERIOR LIGHTING TO BE WALL PACKS SEE BUILDING ELEVATIONS

**TAX ROLL DESCRIPTION:**  
ABSTRACT 0080 - WILLIAM M. FORD SURVEY  
TRACT 81844, ACRES 1.550

1.550 AC.  
67,502 SQ. FT.

**OWNER**  
1800 DALROCK, LLC  
2424 RIDGE RD  
ROCKWALL, TEXAS 75087  
(489)-298-1594

**SURVEYOR**  
FINCHER LAND SURVEYING, PLLC  
3213 INTERSTATE HIGHWAY 30, #107  
MEQUITE, TEXAS 75150  
(903)-944-6397  
Texas Firm No. 10194258

CASE NO. SP 2019-016



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WILLIAM M. FORD, P.E., ON JAN 29, 2024

**DOUPHRATE & ASSOCIATES, INC.**  
ENGINEERING + PROJECT MANAGEMENT SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN**  
**LOT 5, BLOCK A**  
**MAVERICK RANCH ADDITION**  
CITY ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	GCW.
DRAWN	
SCALE	1" = 20'
DATE	JAN 29, 2024
PROJECT	23028
	20



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1926 E 216 Ranch Trail  
 SUBDIVISION Marechal Ranch Addition LOT 5 BLOCK A  
 GENERAL LOCATION 1926 E 216 Ranch Trail

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING commercial CURRENT USE commercial  
 PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_  
 ACREAGE 1.55 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>1800 Dalrock LLC</u>	<input type="checkbox"/> APPLICANT	<u>Douphrate, &amp; Assoc. Inc.</u>
CONTACT PERSON	<u>Kevin J. Lloyd</u>	CONTACT PERSON	<u>Deb Douphrate</u>
ADDRESS	<u>2424 Ridge Rd</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u><del>972</del> 469-298-1594</u>	PHONE	<u>972 742 2210</u>
E-MAIL	<u>Klloyd@keatax.com</u>	E-MAIL	<u>wldouphrate@douphrate.com</u>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin J. Lloyd [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

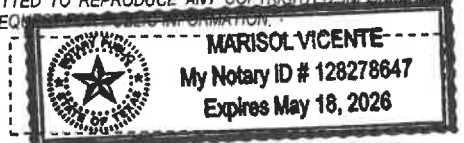
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 281.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF February, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF February, 2024

OWNER'S SIGNATURE

Kevin J. Lloyd  
Mai We

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES May 18, 2026



SP2024-003: Site Plan for 196 & 216 Ranch Trail



Case Location Map =

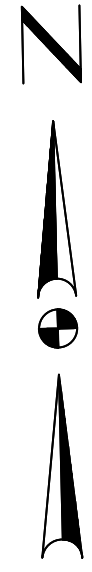


# City of Rockwall

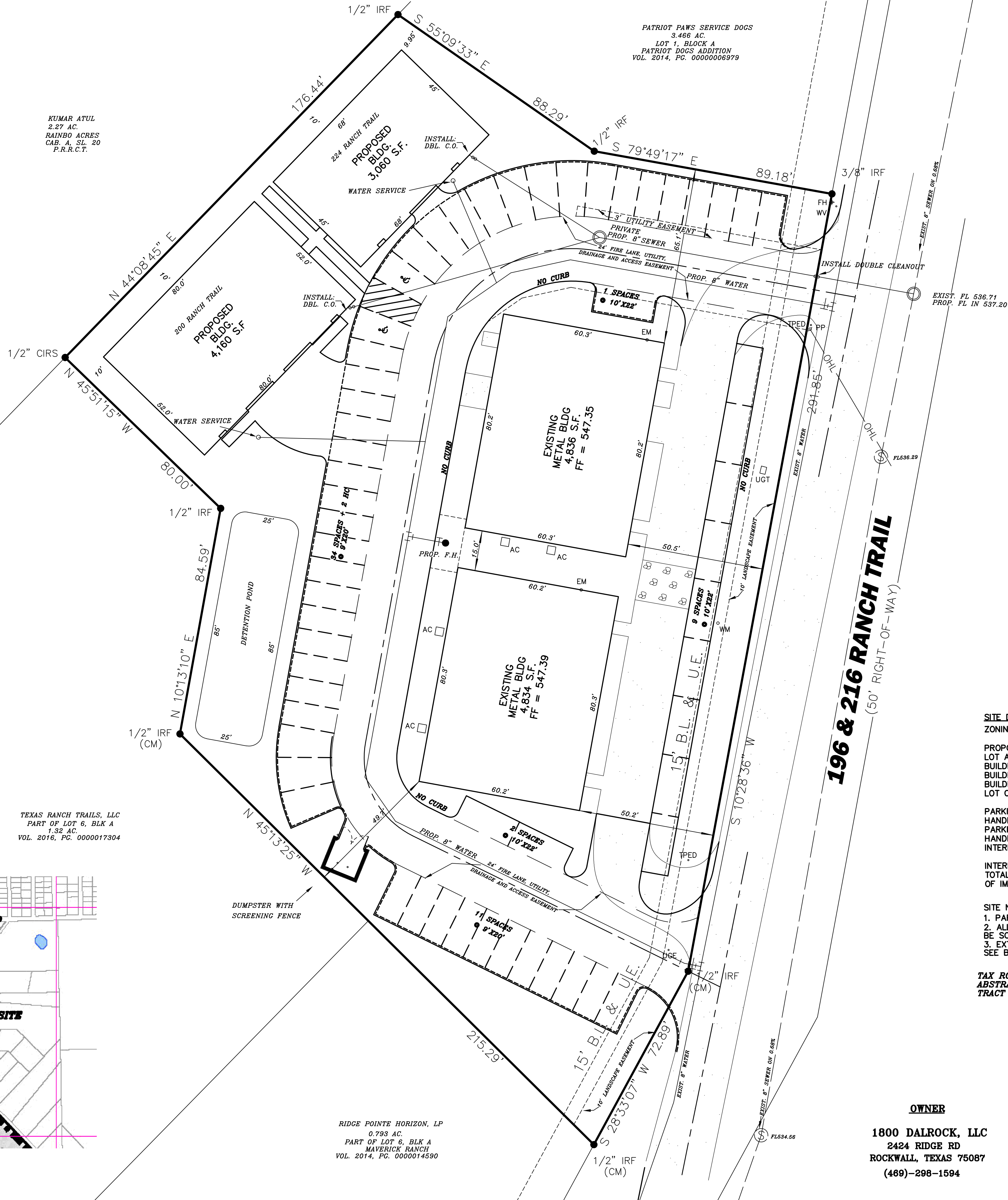
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

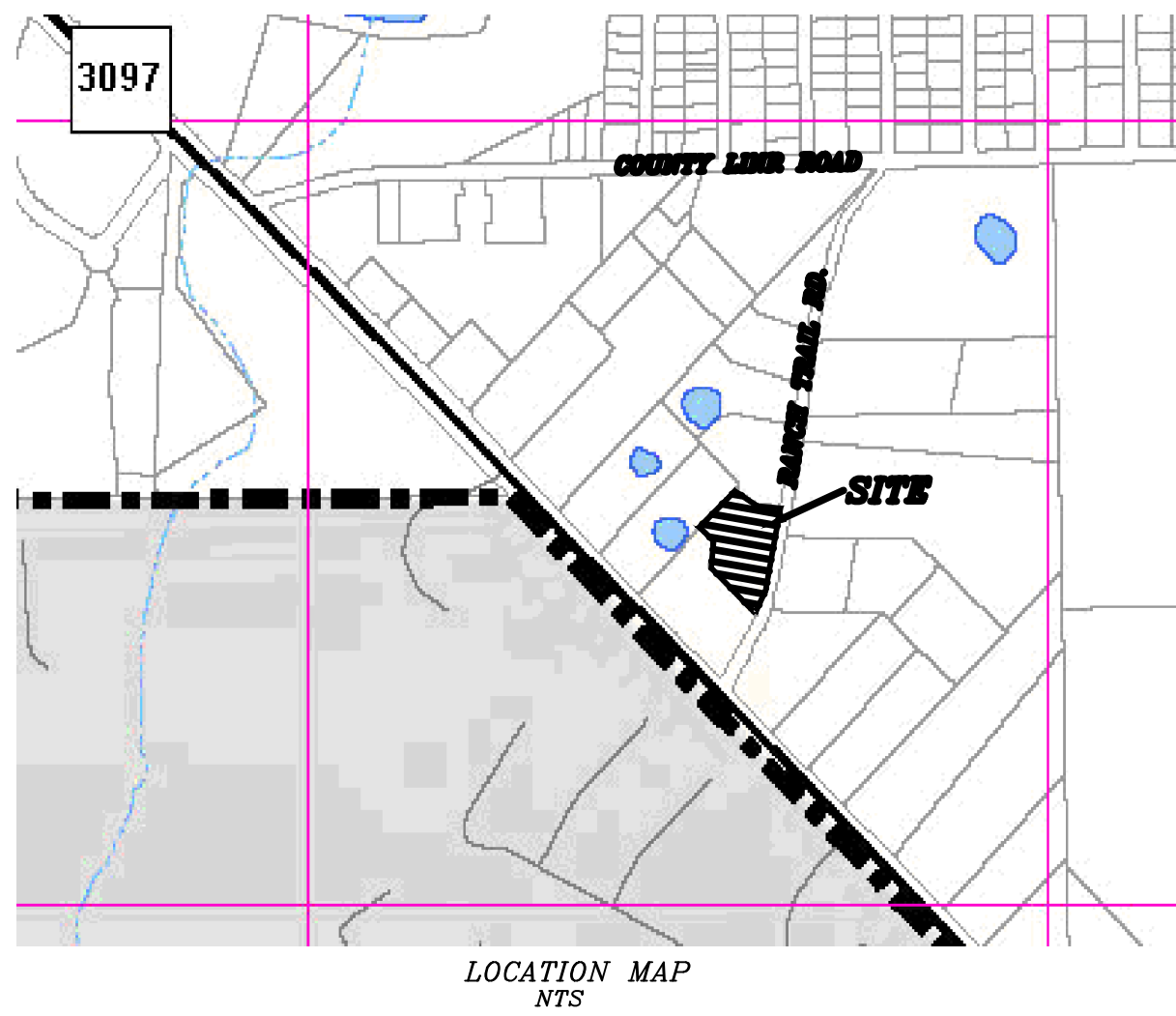




KUMAR ATUL  
2.27 AC.  
RAINBO ACRES  
CAB. A. SL. 20  
P.R.R.C.T.



TEXAS RANCH TRAILS, LLC  
PART OF LOT 6, BLK A  
1.32 AC.  
VOL. 2016, PG. 0000017304



LOCATION MAP  
NTS

DUMPSTER WITH  
SCREENING FENCE

RIDGE POINTE HORIZON, LP  
0.793 AC.  
PART OF LOT 6, BLK A  
MAVERICK RANCH  
VOL. 2014, PG. 0000014590

PATRIOT PAWS SERVICE DOGS  
3.466 AC.  
LOT 1, BLOCK A  
PATRIOT DOGS' ADDITION  
VOL. 2014, PG. 0000006979

**SITE DATA SUMMARY**

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	57 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

**SITE NOTES:**

1. PARKING SPACES ARE 9'X20'
2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
3. EXTERIOR LIGHTING TO BE WALL PACKS  
SEE BUILDING ELEVATIONS

**TAX ROLL DESCRIPTION:**  
ABSTRACT 0080 - WILLIAM M. FORD SURVEY  
TRACT 81844, ACRES 1.550

1.550 AC.  
67,502 SQ. FT.

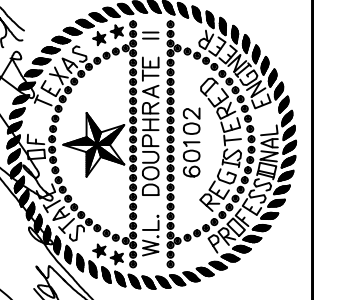
**OWNER**

1800 DALROCK, LLC  
2424 RIDGE RD  
ROCKWALL, TEXAS 75087  
(489)-298-1594

**SURVEYOR**

FINCHER LAND SURVEYING, PLLC  
3213 INTERSTATE HIGHWAY 30, #107  
MEARQUITE, TEXAS 75150  
(903)-944-6397  
Texas Firm No. 10194258

CASE NO. SP 2019-016



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY M.L. DOUPHRADE II, TEXAS P-686, ON JAN 29, 2024

**DOUPHRADE & ASSOCIATES, INC.**  
ENGINEERING - PROJECT MANAGEMENT - SURVEYING

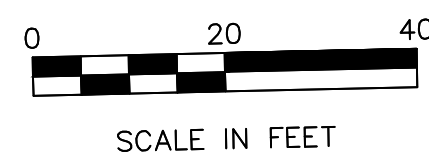
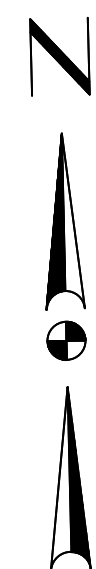
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN**  
**LOT 5, BLOCK A**  
**MAVERICK RANCH ADDITION**  
CITY ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	GCW.
DRAWN	
SCALE	1" = 20'
DATE	JAN 29, 2024
PROJECT	23028
	20

2024 SITE PLAN





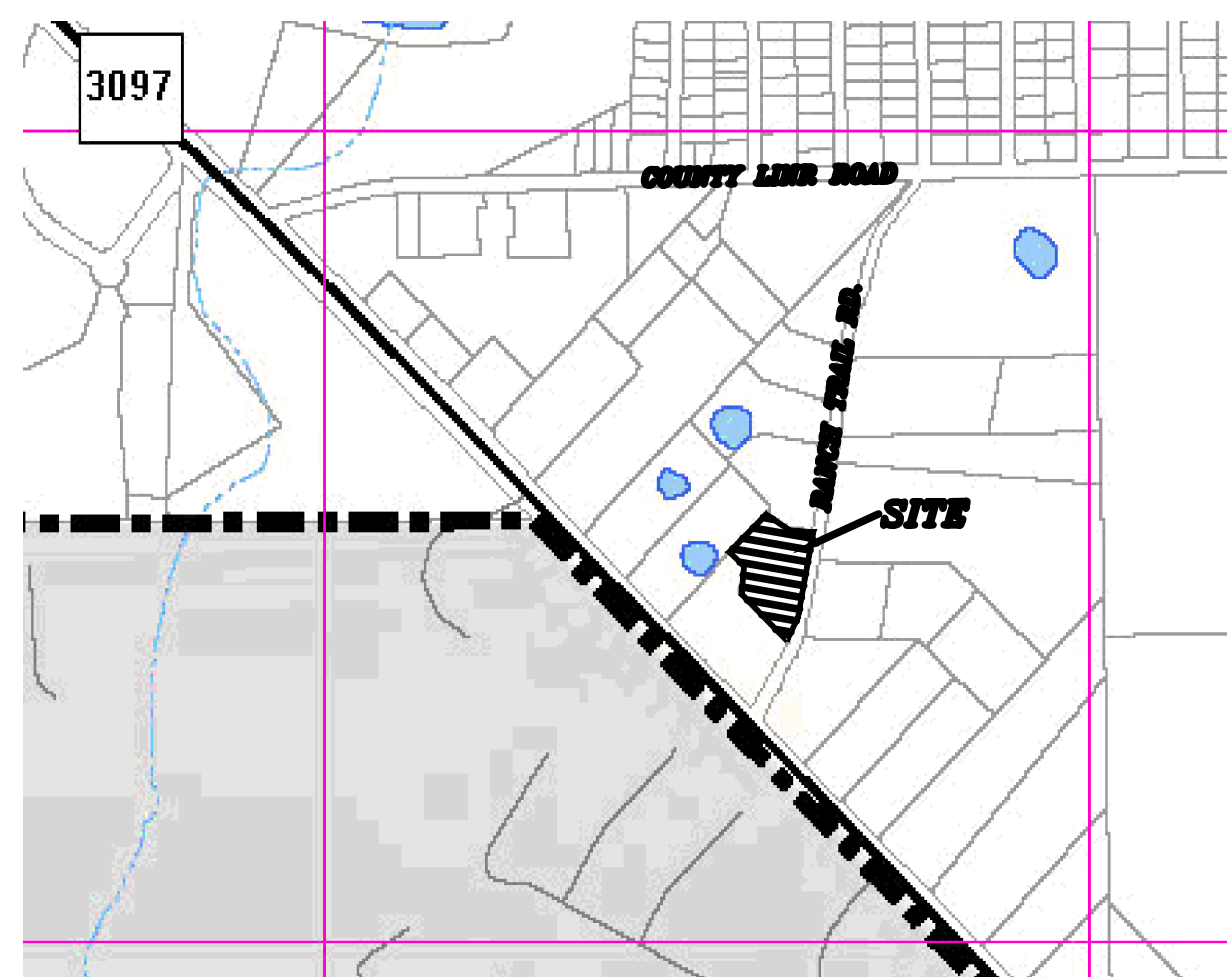
SCALE IN FEET

KUMAR ATUL  
2.27 AC.  
RAINBO ACRES  
CAB. A. SL. 20  
P.R.R.C.T.

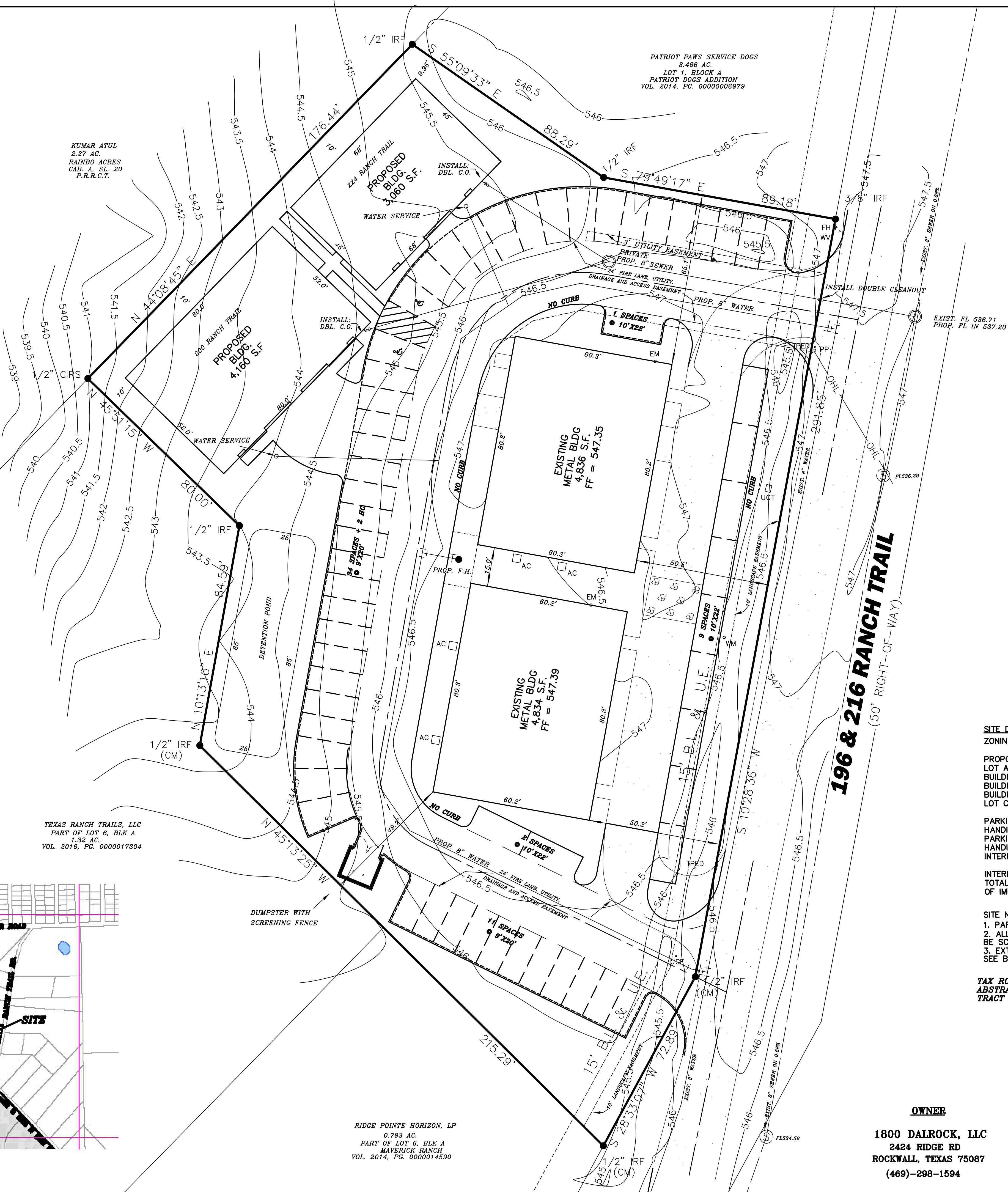
TEXAS RANCH TRAILS, LLC  
PART OF LOT 6, BLK A  
1.32 AC.  
VOL. 2016, PG. 0000017304

RIDGE POINTE HORIZON, LP  
0.798 AC.  
PART OF LOT 6, BLK A  
MAVERICK RANCH  
VOL. 2014, PG. 0000014590

PATRIOT PAWS SERVICE DOGS  
3.468 AC.  
LOT 1, BLOCK A  
PATRIOT DOGS ADDITION  
VOL. 2014, PG. 0000006979



LOCATION MAP  
NTS



SITE DATA SUMMARY	
ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	57 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

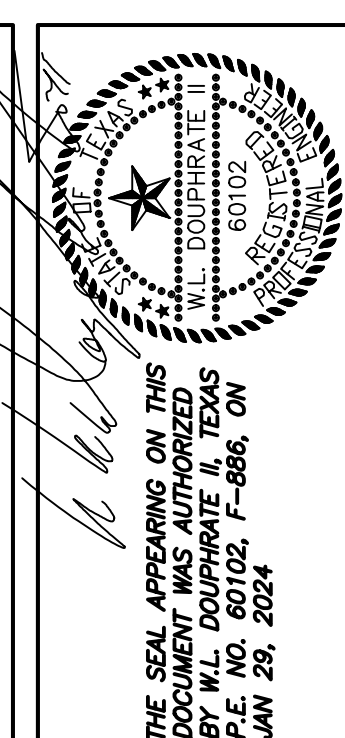
- SITE NOTES:
1. PARKING SPACES ARE 9'X20'
  2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
  3. EXTERIOR LIGHTING TO BE WALL PACKS SEE BUILDING ELEVATIONS

TAX ROLL DESCRIPTION:  
ABSTRACT 0080 - WILLIAM M. FORD SURVEY  
TRACT 81844, ACRES 1.550

1.550 AC.  
67,502 SQ. FT.

**OWNER**  
1800 DALROCK, LLC  
2424 RIDGE RD  
ROCKWALL, TEXAS 75150  
(469)-298-1594

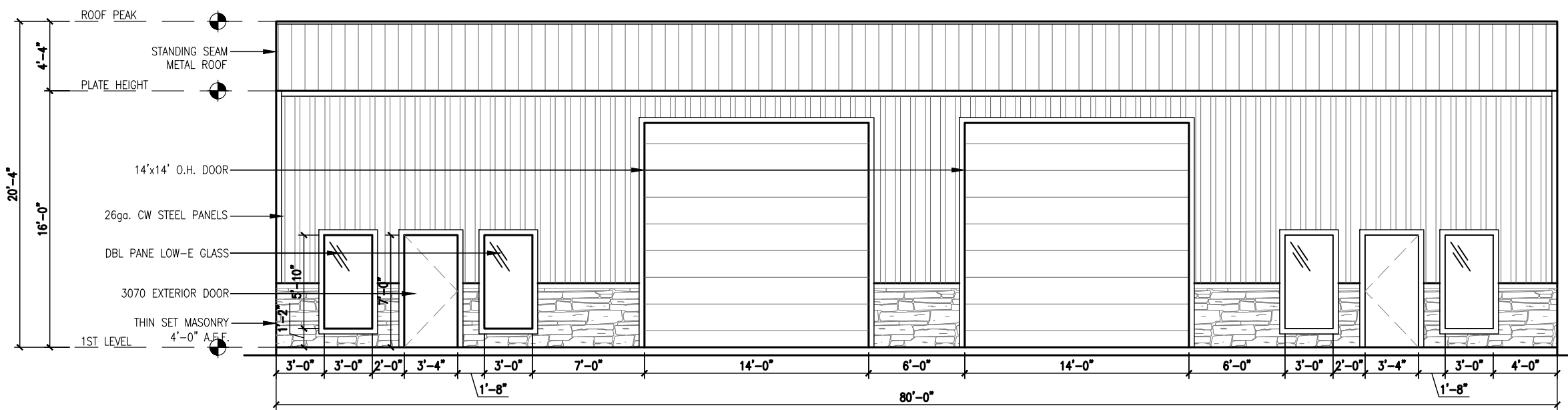
**SURVEYOR**  
FINCHER LAND SURVEYING, PLLC  
3213 INTERSTATE HIGHWAY 30, #107  
MEAQUITE, TEXAS 75150  
(903)-944-8397  
Texas Firm No. 10194258



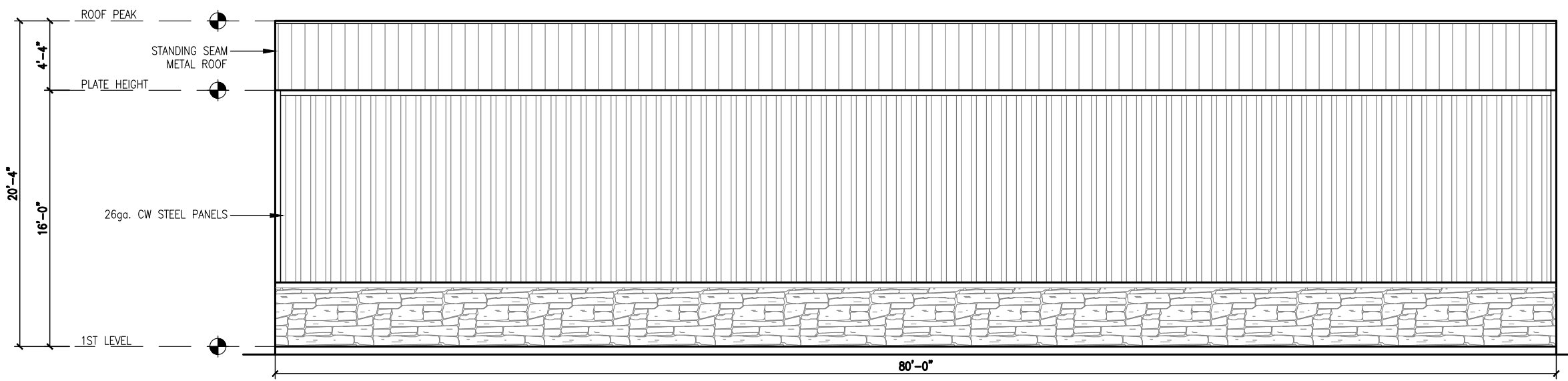
**DOUPHRATE & ASSOCIATES, INC.**  
ENGINEERING • PROJECT MANAGEMENT • SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (872)771-9004 FAX: (872)771-9005

**SITE PLAN**  
LOT 5, BLOCK A  
MAVERICK RANCH ADDITION  
CITY ROCKWALL  
ROCKWALL COUNTY, TEXAS

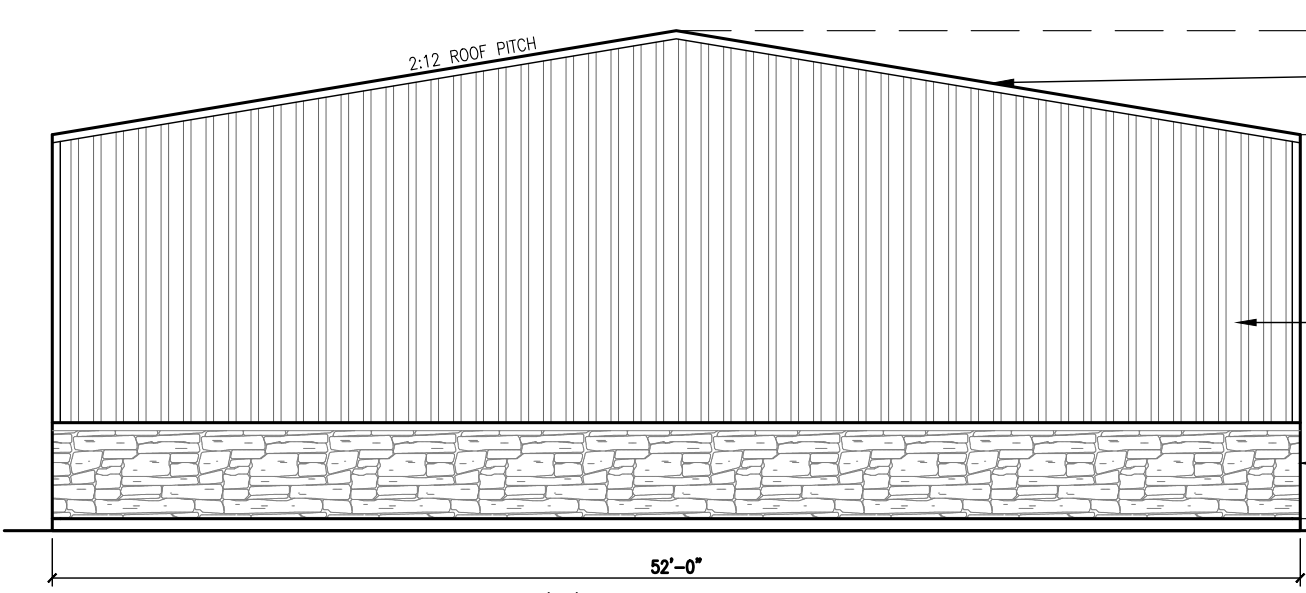
REVISION	WLD.
CHECKED	GCW.
DRAWN	SCALE 1" = 20' H 1" = V
DATE	JAN 29, 2024
PROJECT	23028
20	23028 SITE PLAN



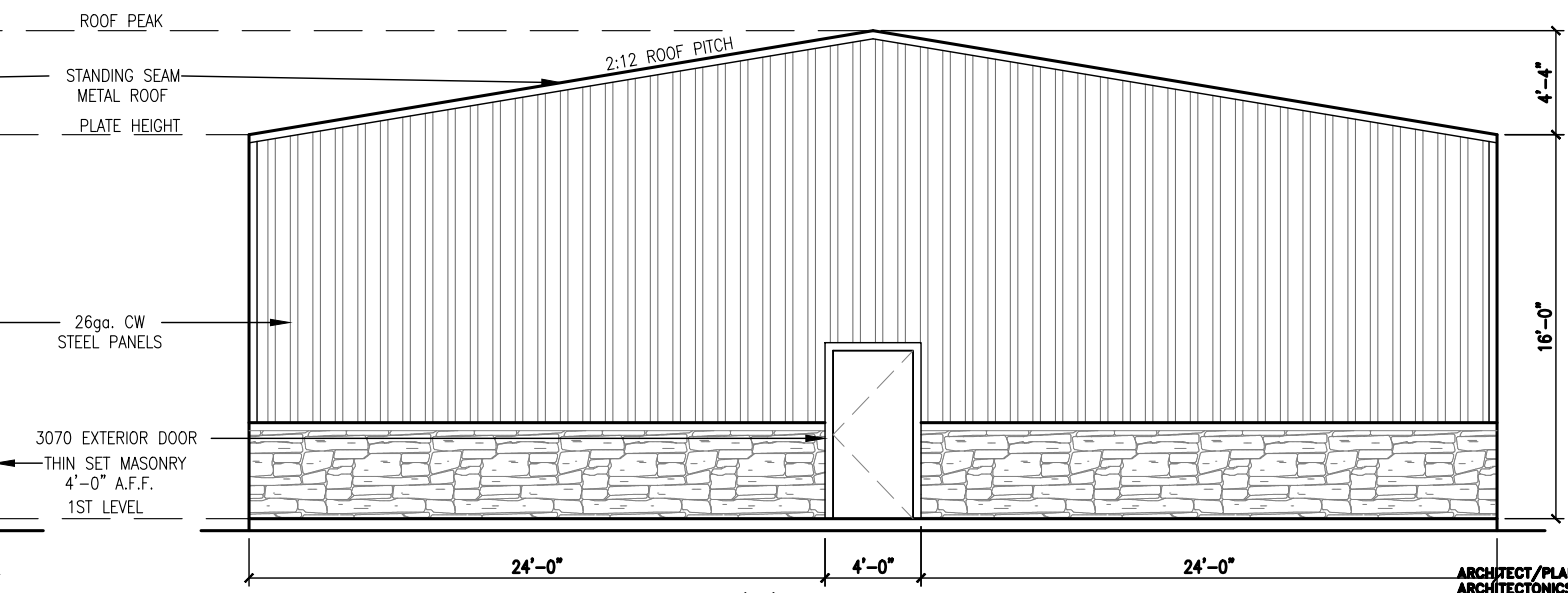
**BUILDING 'A' – SOUTH ELEVATION**  
1/8" = 1'-0"



**BUILDING 'A' – NORTH ELEVATION**  
1/8" = 1'-0"



**BUILDING 'A' – WEST ELEVATION**  
1/8" = 1'-0"



**BUILDING 'A' – EAST ELEVATION**  
1/8" = 1'-0"

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,280	
DOORS & WINDOWS (DEDUCTED)		506	
ACCOUNTABLE AREA		774	100%
26ga. STEEL		650	84%
THIN SET MASONRY CLADDING		124	16%

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,280	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		1,280	100%
26ga. STEEL		925	73%
THIN SET MASONRY CLADDING		355	27%

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		944	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		944	100%
26ga. STEEL		736	78%
THIN SET MASONRY CLADDING		208	22%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		944	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		923	100%
26ga. STEEL		731	79%
THIN SET MASONRY CLADDING		192	21%

**APPROVED:**  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING



**ARCHITECTONICS TEXAS, LLC**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE	DESCRIPTION/ISSUE
	9/19/2021	

PROJECT NAME AND ADDRESS:  
**METAL BUILDINGS for 1800 DALROCK, LLC**  
200 & 206 RANCH TRAIL RD.  
ROCKWALL, TEXAS 75032

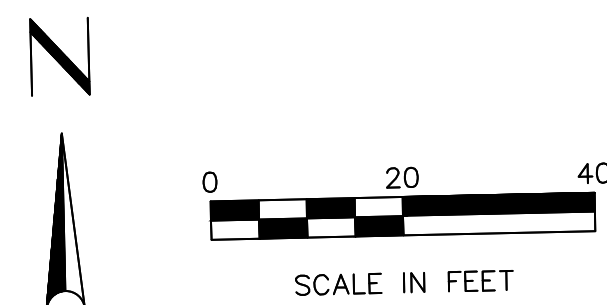
PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	01/23/24
SCALE	
SHEET NO.	of

DRAWING NAME:  
**ELEVATIONS- BLDG 'A'**

**A1.0**

OWNER/AGENT:  
**1800 DALROCK, INC**  
ATTN: KEVIN LLOYD  
(214)316-1060

ARCHITECT/PLANNER:  
**ARCHITECTONICS TEXAS, LLC**  
STEVEN REYES  
(972)345-1884  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



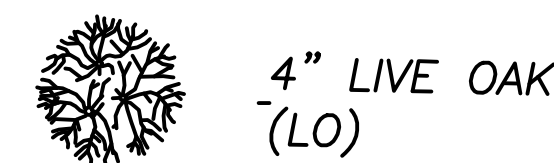
KUMAR ATUL  
2.27 AC.  
RAINBO ACRES  
CAB. A. SL. 20  
P.R.R.C.T.

TEXAS RANCH TRAILS, LLC  
PART OF LOT 6, BLK A  
1.32 AC.  
VOL. 2016, PG. 0000017304

PATRIOT PAWS SERVICE DOGS  
3.466 AC.  
LOT 1, BLOCK A  
PATRIOT DOGS ADDITION  
VOL. 2014, PG. 0000006979

MAVERICK RANCH  
0.793 AC.  
ART OF LOT 6, BLK A  
GE POINTE HORIZON, LP  
2014, PG. 0000014590

---PROPOSED TREES---



4" LIVE OAK (LO)

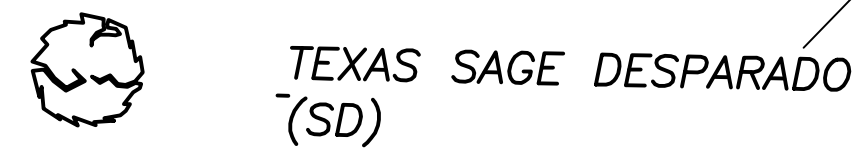


4" AUTUMN BLAZE RED MAPLE (RM)

---PROPOSED SHRUBS---



VITEX CASTUS (VC)



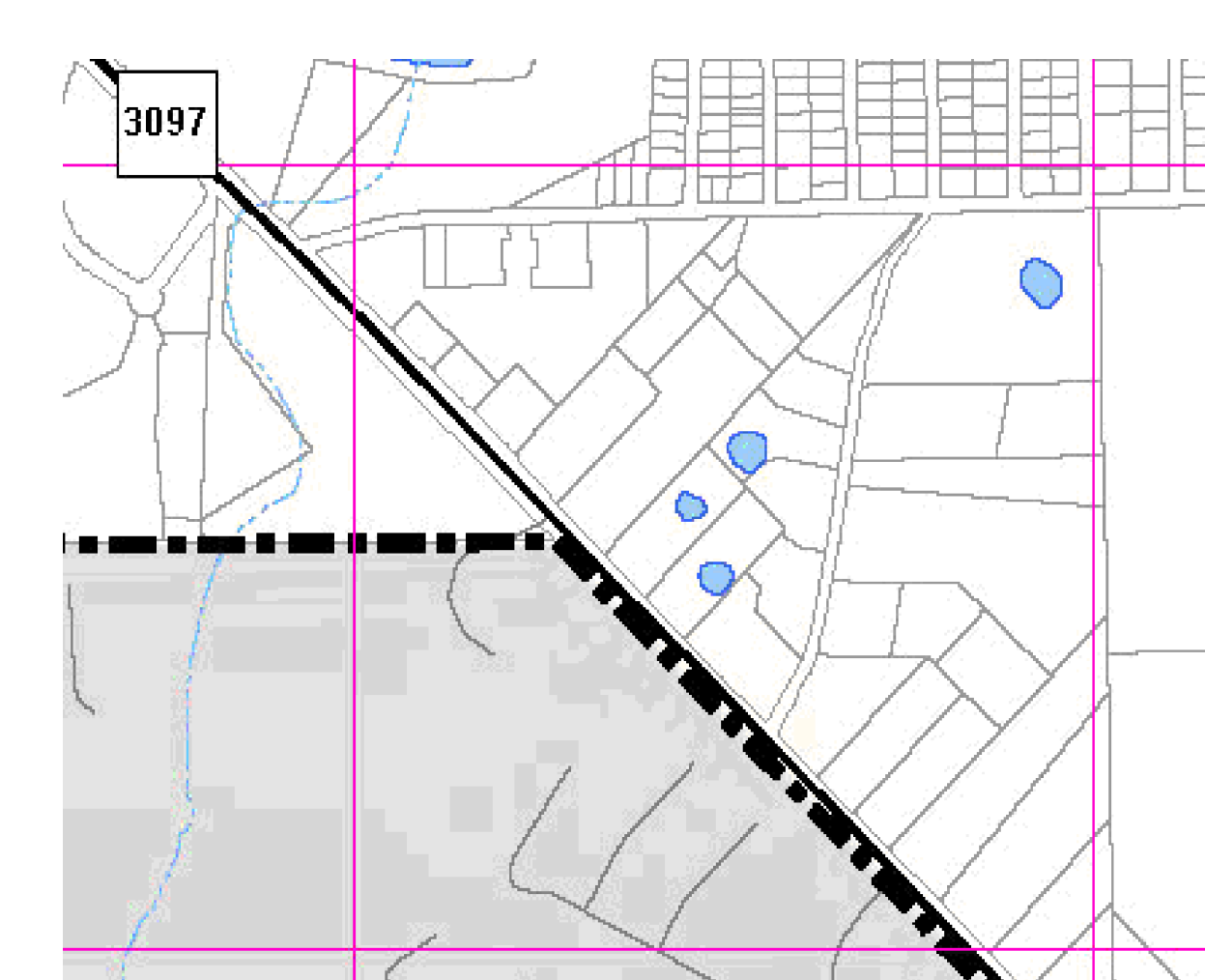
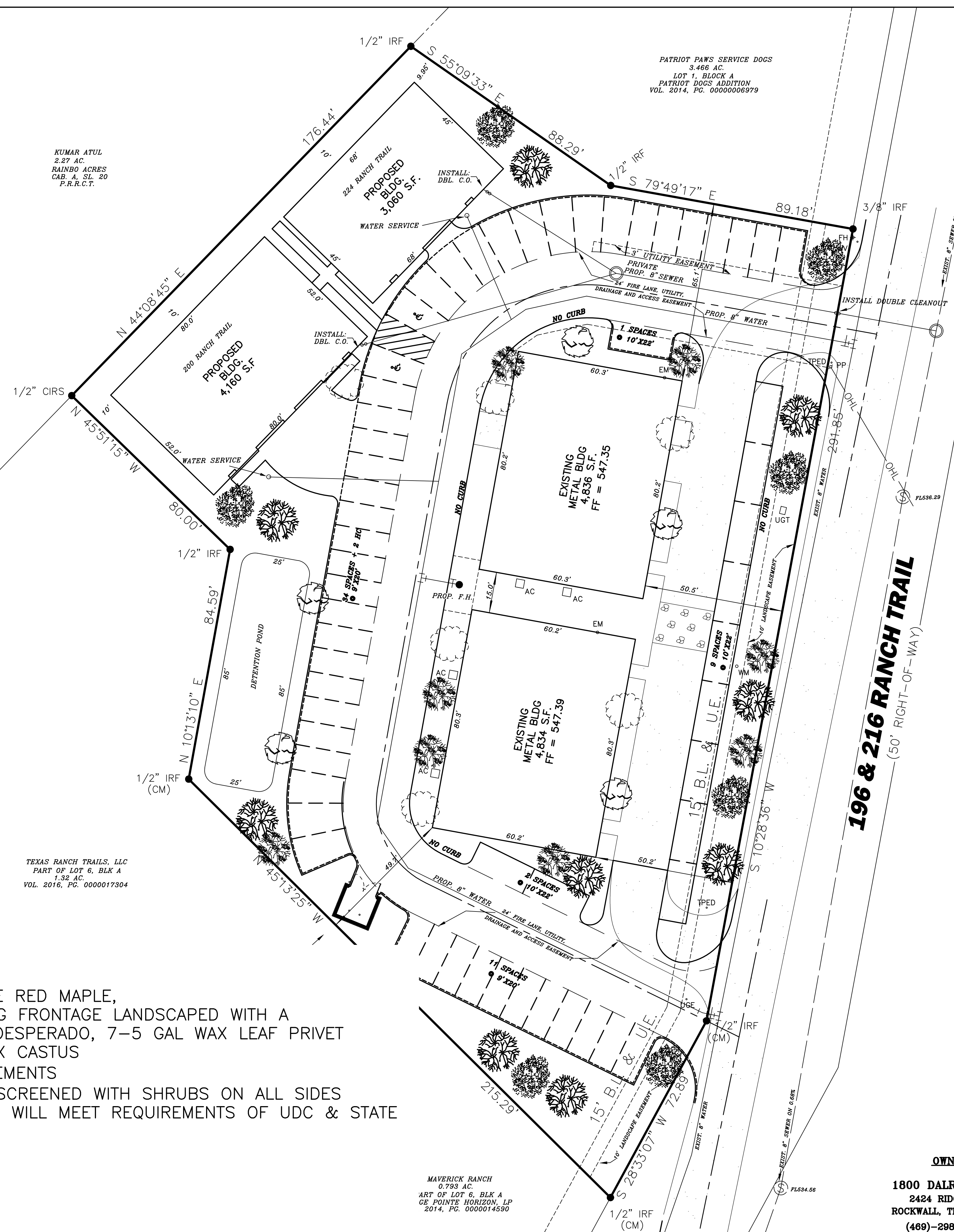
TEXAS SAGE DESPARADO (SD)



WAX LEAF PRIVET LIGUSTRUM (PL)

LANDSCAPE NOTES

1. 9-4" LIVE OAK, 9-4" AUTUMN BLAZE RED MAPLE,
2. SCREEN HEDGEROW INTERIOR PARKING FRONTAGE LANDSCAPED WITH A MIXTURE OF 7-7 GAL TEXAS SAGE DESPERADO, 7-5 GAL WAX LEAF PRIVET LIGUSTRUM BUSHES, 7- 5 GAL VITEX CASTUS
3. NO TREES WITHIN 5' OF UTILITY EASEMENTS
4. ALL GROUNDED A/C UNITS WILL BE SCREENED WITH SHRUBS ON ALL SIDES
5. THE LANDSCAPING IRRIGATION SYSTEM WILL MEET REQUIREMENTS OF UDC & STATE STATE OF TEXAS TCEQ



SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	57 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

SITE NOTES:

1. PARKING SPACES ARE 9'X20'
2. ALL GROUND MOUNTED HVAC UNITS TO BE SCREENED WITH LANDSCAPING
3. EXTERIOR LIGHTING TO BE WALL PACKS SEE BUILDING ELEVATIONS

1.550 AC.  
67,502 SQ. FT.

**OWNER**  
1800 DALROCK, LLC  
2424 RIDGE RD  
ROCKWALL, TEXAS 75087  
(469)-298-1594

**SURVEYOR**  
FINCHER LAND SURVEYING, PLLC  
3213 INTERSTATE HIGHWAY 30, #107  
MEAGUIE, TEXAS 75150  
(903)-944-8397  
TeXas Firm No. 10194258

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRADE II, TEXAS REG. NO. 80102, JAN 29, 2024

**DOUPHRADE & ASSOCIATES, INC.**  
ENGINEERING • PROJECT MANAGEMENT • SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005

**LANDSCAPING PLAN**  
**LOT 5, BLOCK A**  
**MAVERICK RANCH ADDITION**  
CITY ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION

CHECKED

DRAWN

SCALE  
1" = 20' H  
1" = V

DATE

PROJECT

20  
23028 SITE PLAN

WLD.

GCW.

JAN 29, 2024

23028

20

**GENERAL NOTES:**

- FIXTURES TAGGED WITH (@ XX') REPRESENT INSTALLATION HEIGHT.

PROPERTY LINE



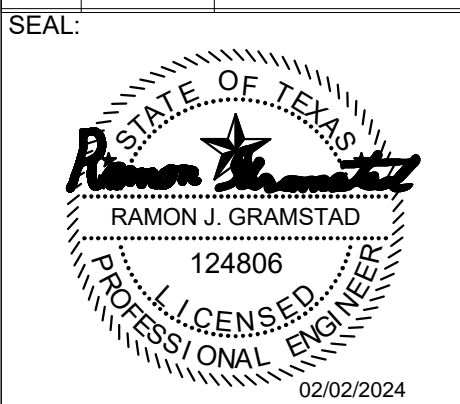
PHOTOMETRIC DATA - WALL PACKS		
	SITE - WITHIN PROP. LINE (fc)	OUTSIDE PROP. LINE (fc)
AVERAGE	0.2	0.2
MAXIMUM	4.0	1.4
MINIMUM	0.0	0.0
MAX / MIN	N/A	N/A
AVERAGE / MIN	N/A	N/A

LIGHT FIXTURE SCHEDULE			
FIXTURE	DESCRIPTION	MANUFACTURER	MODEL
A	WALL PACK	LITHONIA	WPX1 LED P1 30K Mvolt

1 PHOTOMETRIC SITE PLAN  
1/16" = 1'-0"



No.	Date	Description



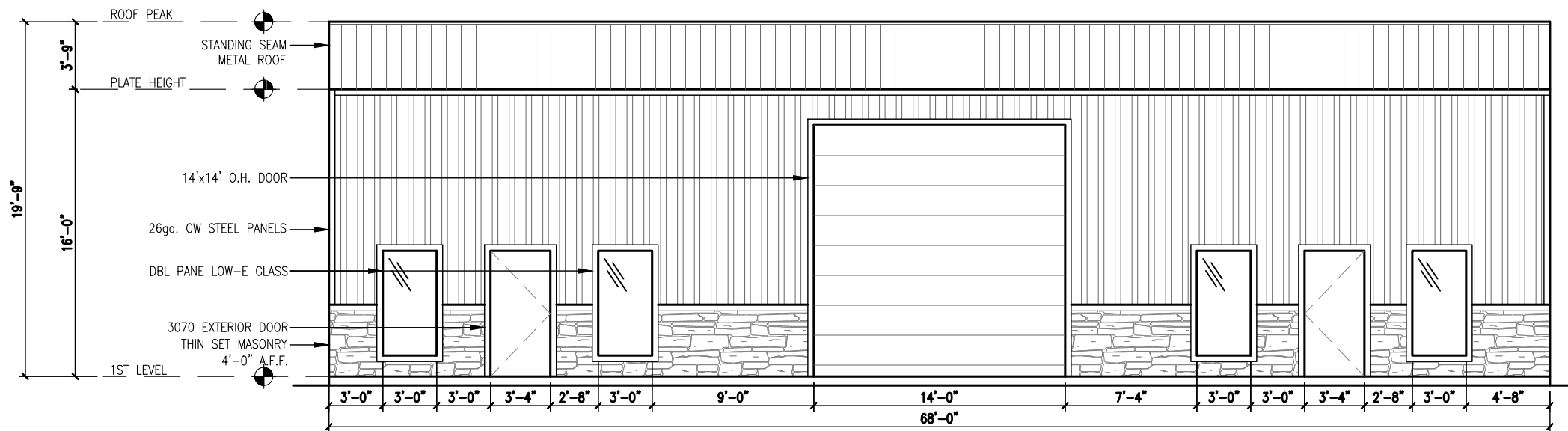
ISSUE/ORIGINAL COPYRIGHT  
DATE: 2024/02/02  
PROJECT #: 24003  
DRAWN BY: PE  
CHECKED BY: RG  
SHEET NAME:  
PHOTOMETRIC PLAN

SHEET NUMBER:

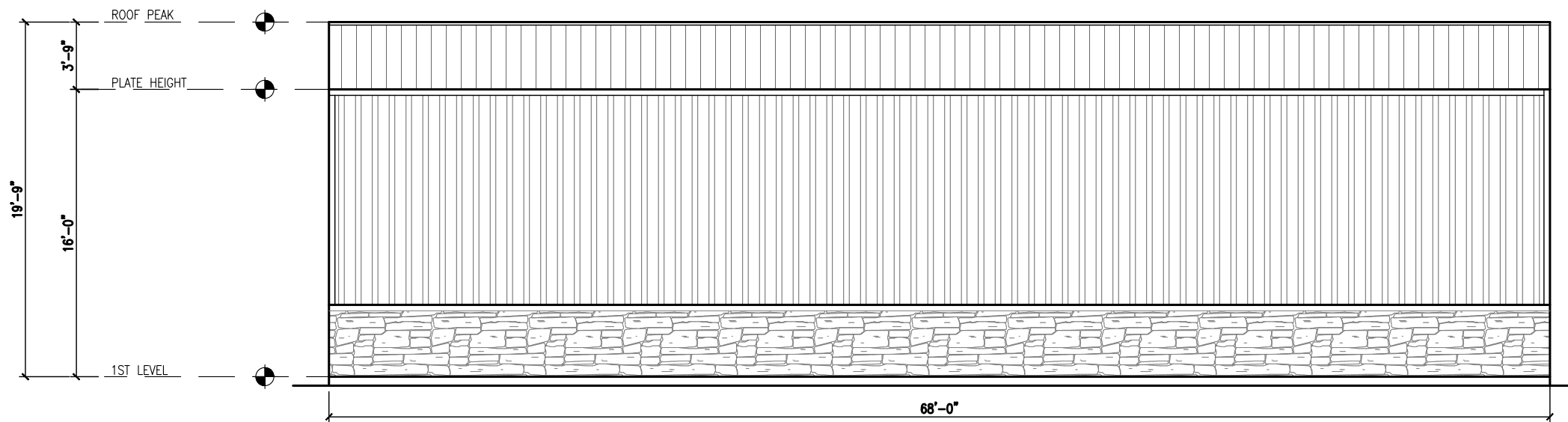
PH1.0

OWNER: 1800 DALROCK LLC

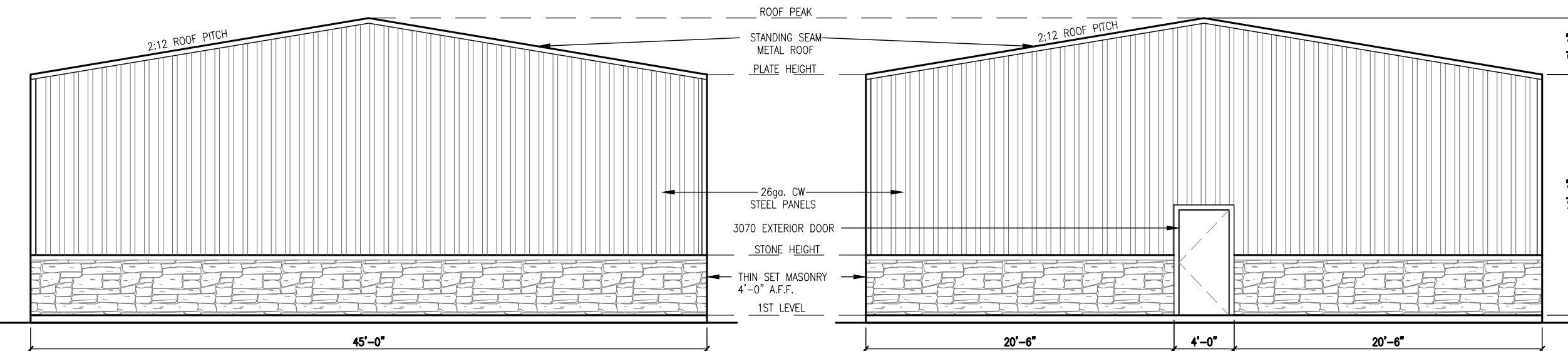
LOT 5, BLOCK A  
MAVERICK RANCH ADDITION  
CITY ROCKWALL  
ROCKWALL COUNTY, TEXAS



**BUILDING 'B' - SOUTH ELEVATION**  
1/8" = 1'-0"



**BUILDING 'B' - NORTH ELEVATION**  
1/8" = 1'-0"



**BUILDING 'B' - EAST ELEVATION**  
1/8" = 1'-0"

**BUILDING 'B' - WEST ELEVATION**  
1/8" = 1'-0"

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,088	
DOORS & WINDOWS (DEDUCTED)		310	
ACCOUNTABLE AREA		778	100%
26ga. STEEL		643	82%
THIN SET MASONRY CLADDING		135	18%

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,088	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		1,088	100%
26ga. STEEL		789	73%
THIN SET MASONRY CLADDING		299	27%

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		804	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		783	100%
26ga. STEEL		619	79%
THIN SET MASONRY CLADDING		164	21%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		804	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		804	100%
26ga. STEEL		624	78%
THIN SET MASONRY CLADDING		180	22%

**APPROVED:**

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTION/ISSUE	9/15/2021

PROJECT NAME AND ADDRESS:  
**METAL BUILDINGS for  
1800 DALROCK, LLC**  
200 & 206 RANCH TRAIL RD.  
ROCKWALL, TEXAS 75032

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	01/23/24
SCALE	
SHEET NO.	of

DRAWING NAME:  
**ELEVATIONS-  
BLDG 'B'**

OWNER/AGENT:  
1800 DALROCK, LLC  
ATTN: KEVIN LLOYD  
(214)316-1060

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1884  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087

**A2.0**

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-004  
PROJECT NAME: Site Plan for 700 Vigor Way  
SITE ADDRESS/LOCATIONS: 700 VIGOR WAY, ROCKWALL, 75087

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/23/2024	Approved w/ Comments

02/23/2024: SP2024-004; Site Plan for 700 Vigor Way

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2024-004) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block on the site plan and photometric plan. The signature block on the site plan is missing the chairman signature line. (Subsection 03.04.A, of Article 11, UDC)

I.5 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.6 Site Plan

- 1) Indicate all building setbacks. (Subsection 03.14.B, of Article 11, UDC)
- 2) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)

M.7 Landscape Plan

- 1) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)
- 2) Indicate screening required for dumpsters. Dumpsters shall be four (4) sided, eight (8) foot in height, solid masonry enclosures that utilize the primary building materials of the associated building. Dumpster enclosures must incorporate a self-latching gate and require screening shrubs. (Subsection 06.02.D.7, of Article 05, UDC)
- 3) All parking spaces must be within 80' of a canopy tree. Please provide an exhibit showing conformance to this requirement. (Subsection 05.03.E, of Article 08, UDC)
- 4) Two (2) Canopy trees and four (4) accent trees are required for the frontage of IH-30. Disperse these trees throughout the site to meet this requirement. (Subsection 06.02.E,

Article 05, UDC)

- 5) Please provide shrubs adjacent to the parking spaces adjacent to Vigor Way.
- 6) Please provide a ten (10) foot landscape buffer with one (1) canopy and one (1) accent tree per 50-linear feet along Vigor Way.
- 7) Please define the landscape area call out on the plan.
- 8) Please provide headlight screening along the northern property line.

M.8 Building Elevations

- 1) Please dash in all roof top mounted equipment and demonstrate that it will be fully screened.
- 2) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- 3) Subsection 06.02(C)(5) of Article 05, District Development Standards, of the UDC requires that "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." The proposed building does not meet this requirement.

M.9 Photometric Plan

- 1) Provide the same site data information as site plan.
- 2) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one footcandle. (Subsection 03.03.C, of Article 07, UDC)
- 3) All pole-mounted lights shall not exceed a height of 20 feet in the IH-30 Overlay District. Please revise mounting height for the eight (8) poles that exceed this mounting height. (Subsection 06.02.G, of Article 05, UDC)
- 4) Provide cut-sheets of light fixtures. (Subsection 03.03, of Article 07, UDC)

M.10 Staff has identified the following exception(s) associated with the proposed request: [1] Four (4)-Sided Architecture, and [2] Primary Building Articulation. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on March 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 27, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on March 12, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

- 02/23/2024: 1. Testable backflow.  
 2. 8"  
 3. This will be required to be an 8" water line.

4. Must pick up off site drainage flowing to this lot.
5. Dumpster area must drain to an oil/water separator.
6. This will be required to be an 8" water line.
7. There is an additional 5' easement south of the 15' easement. See attached plat.
8. 8"
9. Testable backflow.
10. Show.
11. Trees must be 10' from water line.
12. Tree is shown on top of fire line.
13. Landscape plan is subject to change with engineering plan review.
14. No trees within 10' of utilities.
15. Required landscape berms may not be top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Needs Review

02/22/2024: \* Domestic water service and irrigation service shall be equipped with a Double Check Assembly below ground at the water meter. RPZ is not allowed here  
 \* Dumpster enclosure does not meet the design requirements of the Unified Development Code, and shall also have a inlet that will drain into a oil/water separator before discharging to the storm water line/inlet.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved w/ Comments

02/21/2024: The minimum turning radius shall be in accordance with the following:

1. For buildings less than 30-feet and less than 3 stories in height:
  - a. 20-feet (inside) for turns less than or equal to 90 degrees
  - b. 25-feet (inside) for turns greater than 90 degrees
2. For buildings 30-feet or more and/or 3 or more stories in height minimum interior turning radius of 30 feet

For purposes of this section, the building height is measured from the lowest finished grade of the fire access roads to the point of accessible roof level, including parapet walls.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	02/23/2024	Approved

02/23/2024: landscape looks very limited please check you calculations



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

FOR IRRIGATION SERVICE INSTALL:  
(1) 10"x1" TAPPING SLEEVE  
(1) 3/4" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

FOR DOMESTIC SERVICE INSTALL:  
(1) 10"x2" TAPPING SLEEVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 8" VALVE  
(1) FIRE HYDRANT ASSEMBLY

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 10" VALVE  
(1) 6" VALVE  
6" FIRE SPRINKLER LINE  
(C-900 CLASS 200 PVC DR14)

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 8" VALVE  
(1) FIRE HYDRANT ASSEMBLY

CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

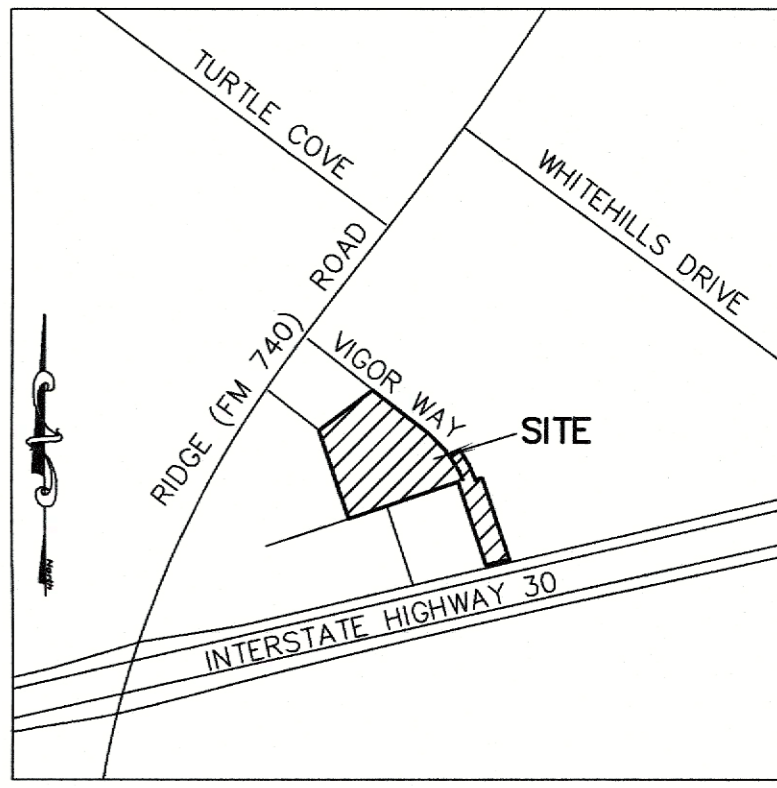
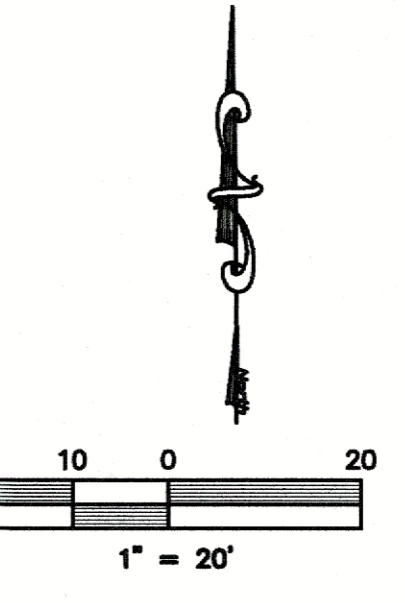
This will be required to be an 8" water line

There is an additional 5' easement south of the 15' easement. See attached plat.

This will be required to be an 8" water line

Must pick up off site drainage flowing to this lot.

PROP. DUMPSTER PAD W/ 8" PAVING. CONSTRUCT 6" MASONRY ENCLOSURE TO MATCH BLDG & SELF LATCHING METAL GATES. (SEE SITE DETAILS)  
Dumpster area must drain to an oil/water separator.



**SITE DATA:**  
LOT AREA: 1.74 Acres, 75,987 sq.ft.  
LOT COVERAGE: 17%  
FLOOR TO AREA RATIO: 5.88:1  
BUILDING AREA: 1st Floor: 12,923 sq.ft. 2nd Floor: 12,577 sq.ft. Total: 25,500 sq.ft.  
BUILDING HEIGHT: 2 STORY (30' MAX)  
PROPOSED FUTURE USE: OFFICE  
IMPERVIOUS AREA (including buildings): 59,269 sq.ft.  
ZONING: C2  
PARKING: Required: Office (1/300sf) = 85 Handicap = 4 Provided: Standard = 82 Handicapped = 4 Total Provided = 86  
LANDSCAPE AREA: Required: (20%) 15,197 sq.ft. Provided: 16,718 sq.ft.  
FIRESPRINKLER: YES  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- EX. SS- = EXISTING SANITARY SEWER LINE
- EX. W- = EXISTING WATER LINE
- ⊕FH = EXISTING FIRE HYDRANT
- ⊗WM = EXISTING WATER METER
- ⊙PP = EXISTING POWER POLE
- ⊙LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  - Fire lanes shall be designed and constructed per city standards.
  - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  - All signage contingent upon Building Inspection Department approval.
  - Approval of the site plan is not final until all engineering plans are approved.
  - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
  - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - PRIVATE TRASH SERVICE

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
  - NO SAND UNDER PAVING.

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP#: 2024-

**SITE PLAN**  
**VIGOR WAY OFFICE**

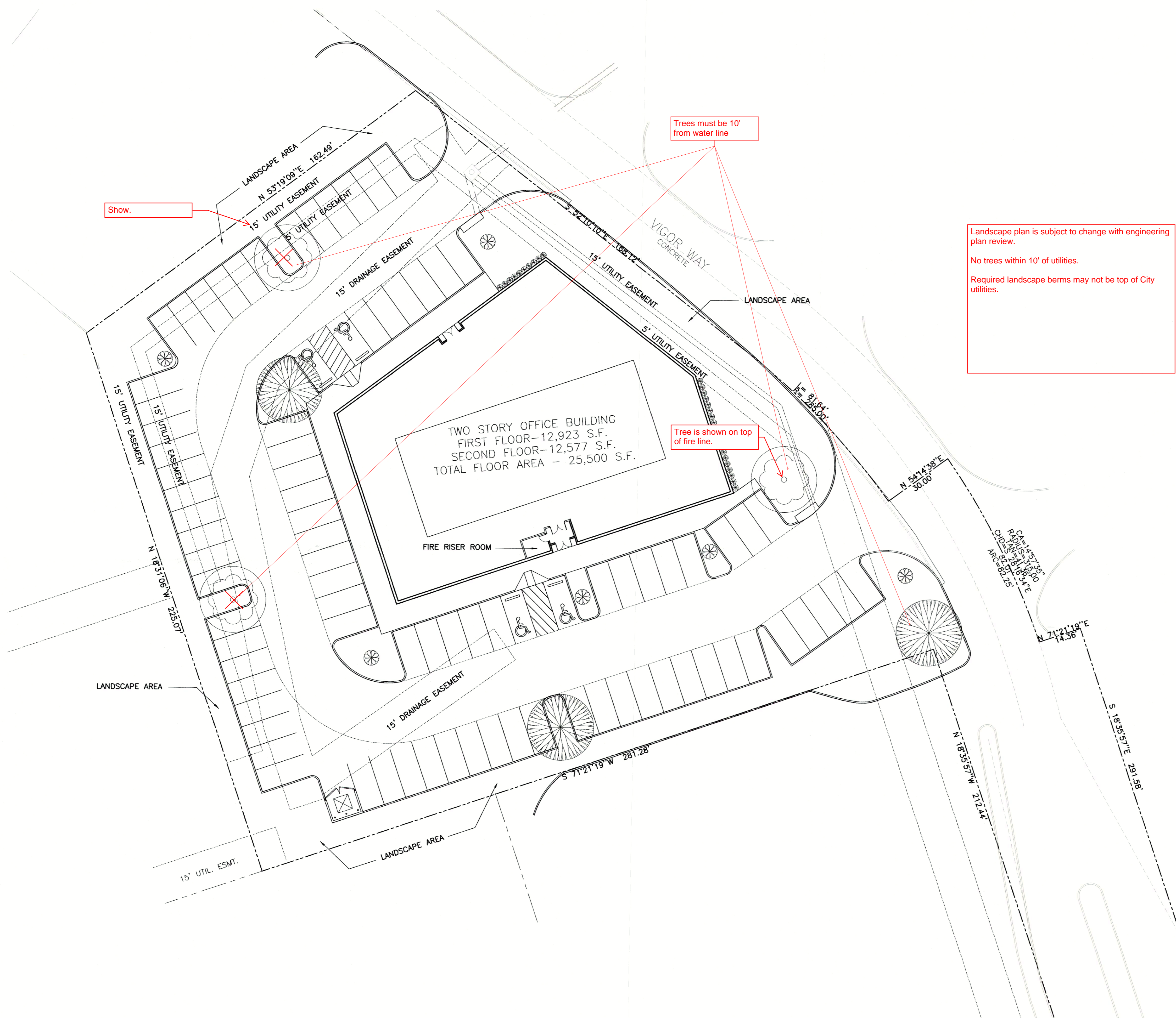
LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner  
PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
HEATH, TX 75032

prepared by  
MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

© 2024 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2024-3 REG. NO.: F-21  
date: 2/15/24 scale: 1"=20' sheet: C10



SITE DATA TABLE	
SITE AREA	1.44 ACRES (62,462 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.44 ACRES (62,462 S.F.)
REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F.	12,492 S.F.
PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F.	15,750 S.F.
IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F.	46,712 S.F.

TREE / SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (RETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER: SP2024-XXX	
LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____. WITNESS OUR HANDS, this ___ day of _____. Planning & Zoning Commission, Chairman Director of Planning and Zoning	

ISSUE:	02-16-2024
SITE PLAN:	

**COPYRIGHT NOTICE:**  
These drawings and specifications are the property of Carroll Architects, Inc. under the copyright of 17 U.S.C. sec. 102 of the copyright act. No reproduction, including, without limitation, the overall design, or any portion thereof, or any species, and materials of the design, or any drawings and specifications may be made, in whole or in part, for any building without the written consent of Carroll Architects, Inc.

Landscape plan is subject to change with engineering plan review.  
No trees within 10' of utilities.  
Required landscape berms may not be top of City utilities.

**NEW OFFICE DEVELOPMENT  
VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC  
2 ESSEX COURT  
HEATH, TX 75032



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**LANDSCAPE  
SITE PLAN**

DATE: FEB 2024 SHEET NO.  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY:

**A100**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2024-004**

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **VIGOR WAY**

SUBDIVISION **ROCKWALL TOWNE CENTER** LOT **1** BLOCK **A**

GENERAL LOCATION **CENTERED IN VIGOR WAY BETWEEN I-30 & RIDGE RD.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL** CURRENT USE **N/A**

PROPOSED ZONING **COMMERCIAL** PROPOSED USE **OFFICE**

ACREAGE **1.74 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <b>PRBBS, LLC.</b>	<input checked="" type="checkbox"/> APPLICANT <b>CARROLL ARCH. INC.</b>
CONTACT PERSON <b>BRIAN BERRY</b>	CONTACT PERSON <b>JEFF CARROLL</b>
ADDRESS <b>2 ESSEX COURT</b>	ADDRESS <b>750 E. INTERSTATE 30 SUITE 110</b>
CITY, STATE & ZIP <b>HEATH, TX 75032</b>	CITY, STATE & ZIP <b>ROCKWALL, TX 75087</b>
PHONE <b>469.583.5976</b>	PHONE <b>214.632.1762</b>
E-MAIL <b>bberry@lonefirm.com</b>	E-MAIL <b>JCE@CARROLLARCH.COM</b>

## NOTARY VERIFICATION [REQUIRED]

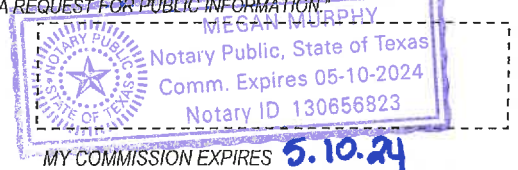
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1125 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant's OWNER'S SIGNATURE

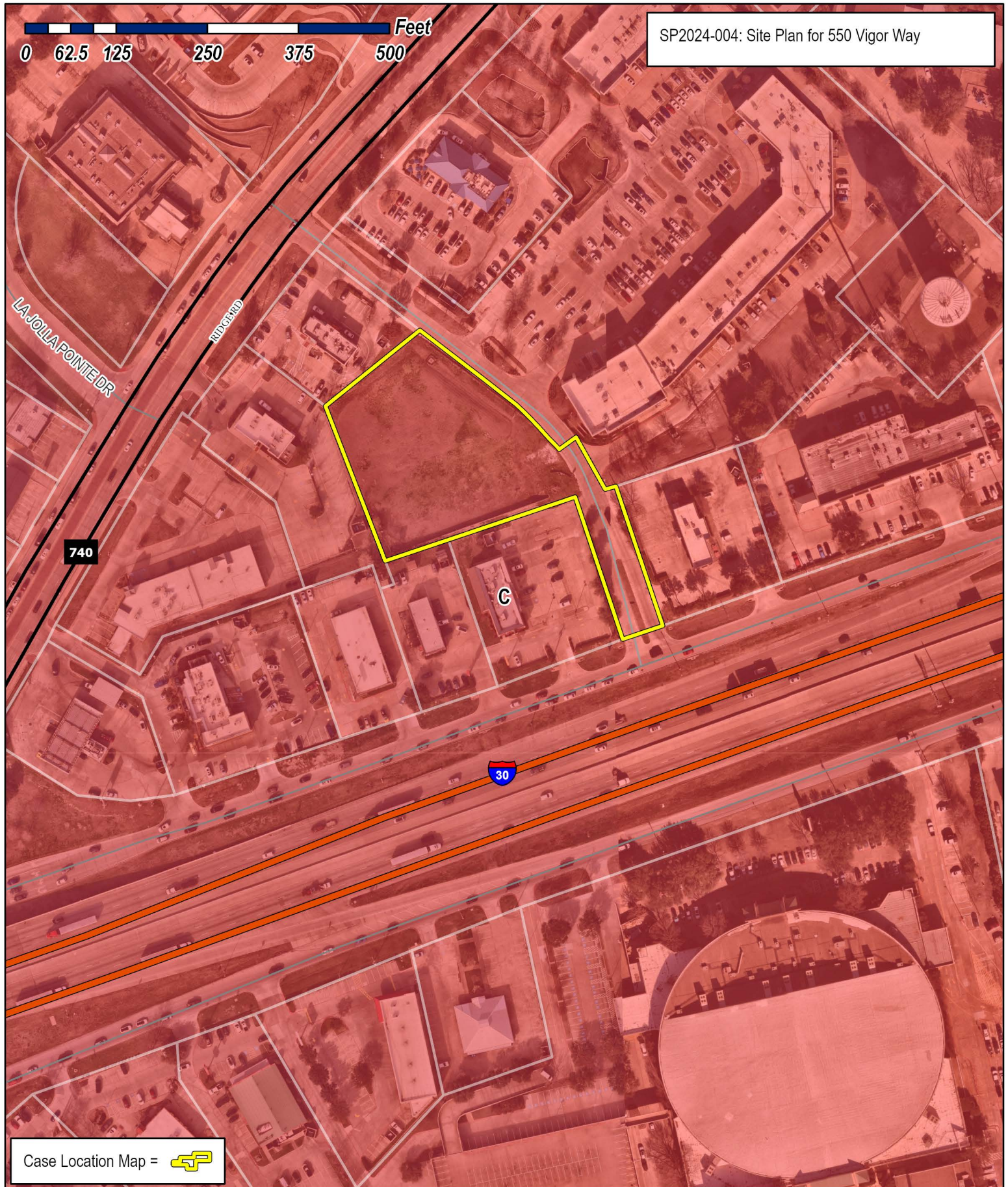
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES **5.10.24**



SP2024-004: Site Plan for 550 Vigor Way



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

FOR IRRIGATION SERVICE INSTALL:  
(1) 10"x1" TAPPING SLEEVE  
(1) 3/4" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

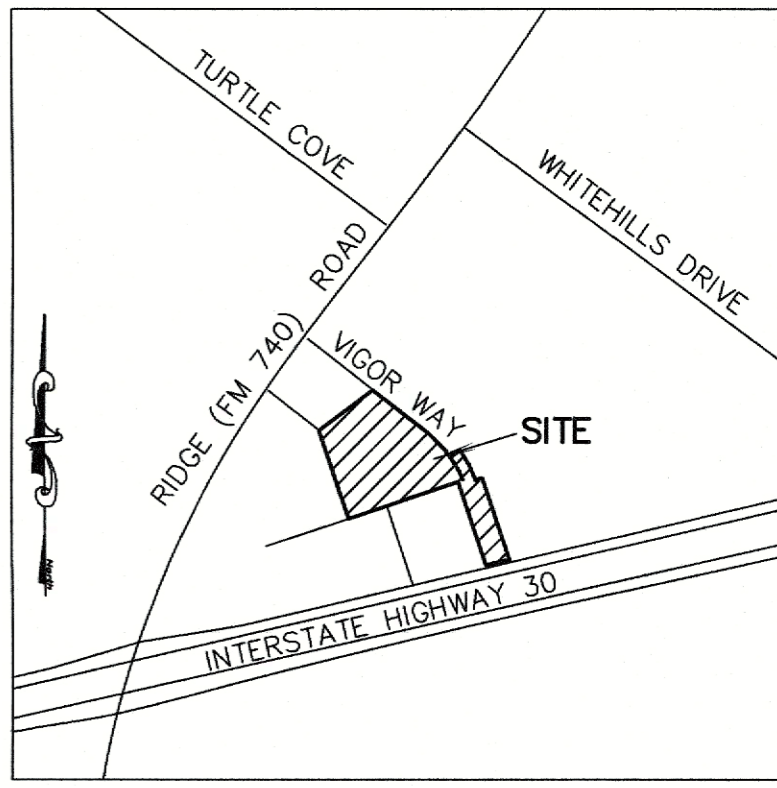
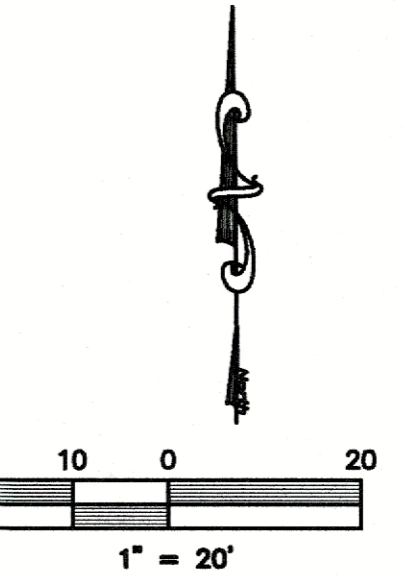
FOR DOMESTIC SERVICE INSTALL:  
(1) 10"x2" TAPPING SLEEVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 10" VALVE  
(1) 6" VALVE  
6" FIRE SPRINKLER LINE  
(C-900 CLASS 200 PVC DR14)

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FIRE HYDRANT ASSEMBLY

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FIRE HYDRANT ASSEMBLY



**SITE DATA:**  
LOT AREA:  
1.74 Acres, 75,987 sq.ft.  
LOT COVERAGE:  
17%  
FLOOR TO AREA RATIO:  
5.88:1  
BUILDING AREA:  
1st Floor: 12,923 sq.ft.  
2nd Floor: 12,577 sq.ft.  
Total: 25,500 sq.ft.  
BUILDING HEIGHT:  
2 STORY (30' MAX)  
PROPOSED FUTURE USE:  
OFFICE  
IMPERVIOUS AREA  
(including buildings):  
59,269 sq.ft.  
ZONING:  
C2  
PARKING:  
Required:  
Office (1/300sf) = 85  
Handicap = 4  
Provided:  
Standard = 82  
Handicapped = 4  
Total Provided = 86  
LANDSCAPE AREA:  
Required: (20%) 15,197 sq.ft.  
Provided: 16,718 sq.ft.  
FIRESPRINKLER:  
YES  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP  
NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- EX. SS- = EXISTING SANITARY SEWER LINE
- EX. W- = EXISTING WATER LINE
- ⊕FH = EXISTING FIRE HYDRANT
- ⊗WM = EXISTING WATER METER
- ⊙PP = EXISTING POWER POLE
- ⊙LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- - - - = PROPOSED FIRELANE

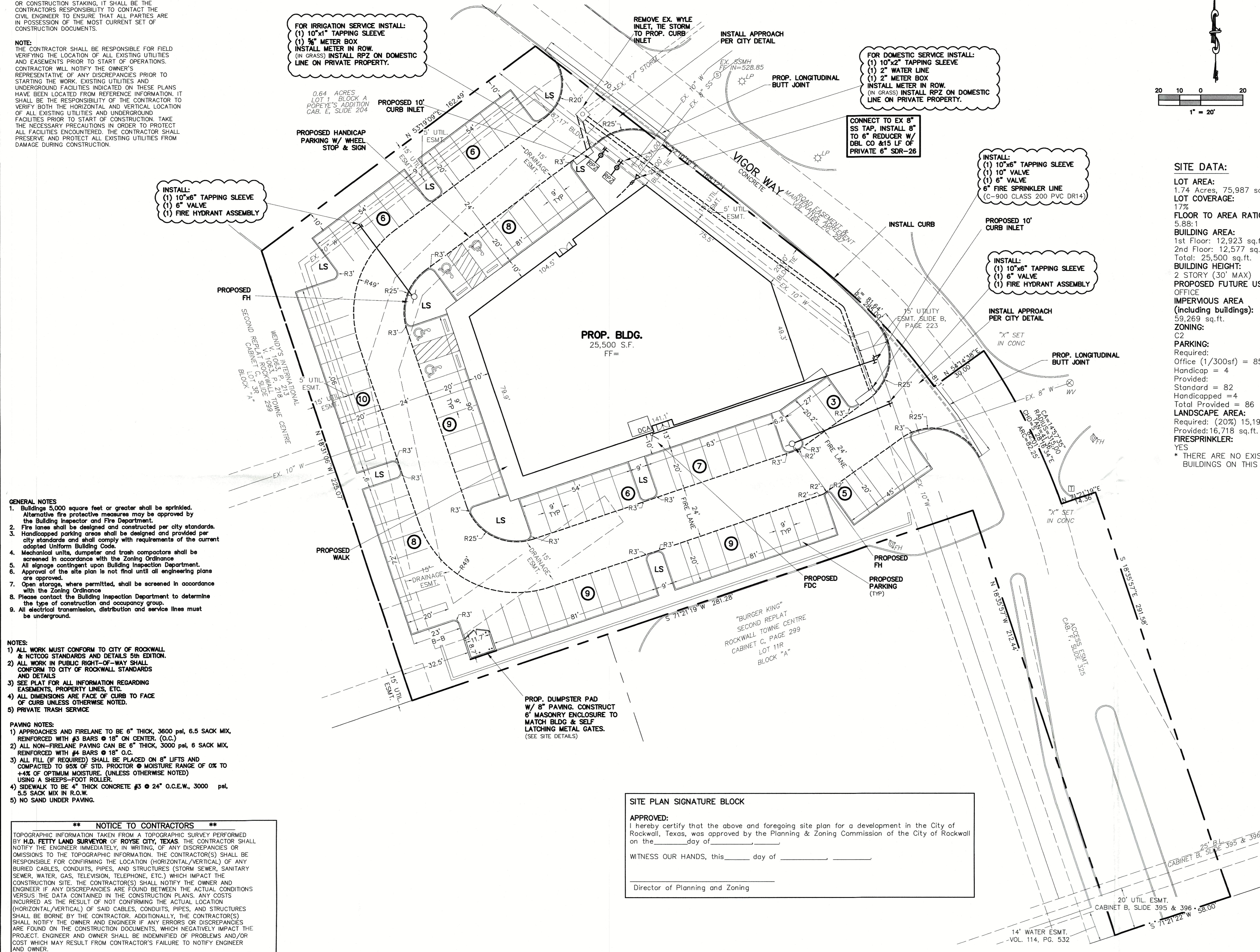
- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  - Fire lanes shall be designed and constructed per city standards.
  - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  - All signage contingent upon Building Inspection Department approval.
  - Approval of the site plan is not final until all engineering plans are approved.
  - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
  - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - PRIVATE TRASH SERVICE

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
  - NO SAND UNDER PAVING.

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP#: 2024-

**SITE PLAN**  
**VIGOR WAY OFFICE**

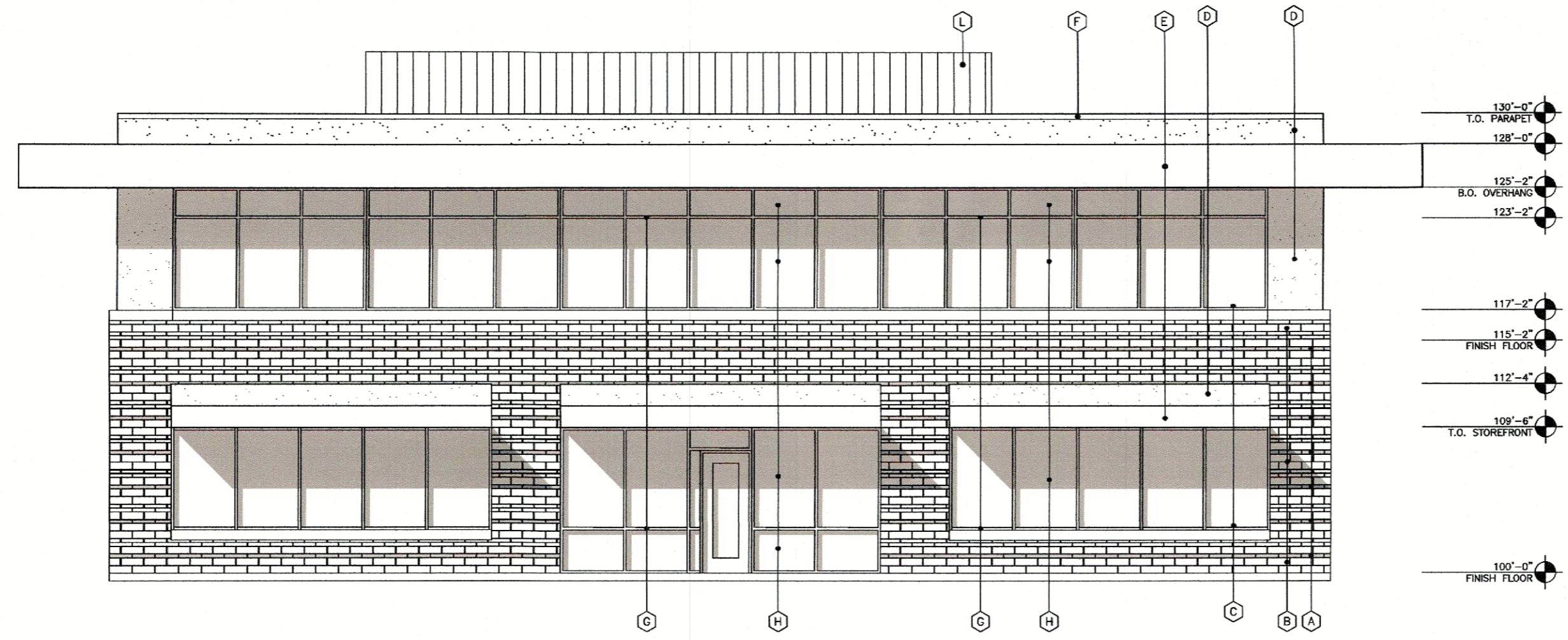
LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner  
PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
HEATH, TX 75032  
prepared by

MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

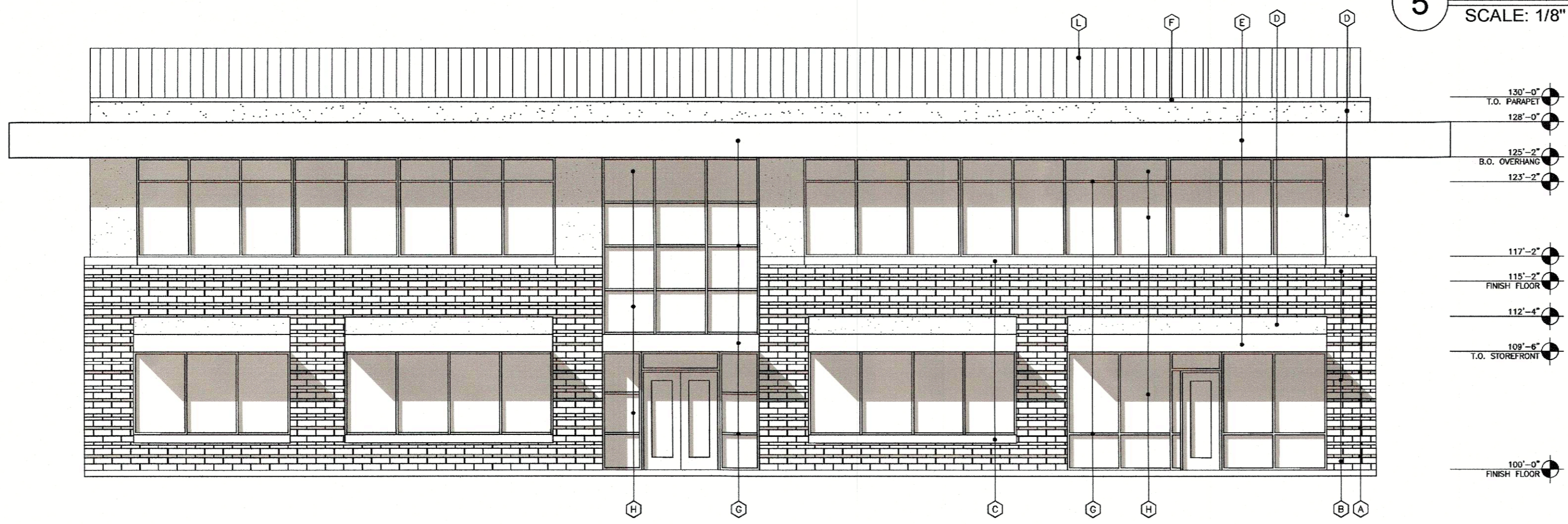
© 2024 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2024-3 REG. NO.: F-21  
date: 2/15/24 scale: 1"=20' sheet: C10



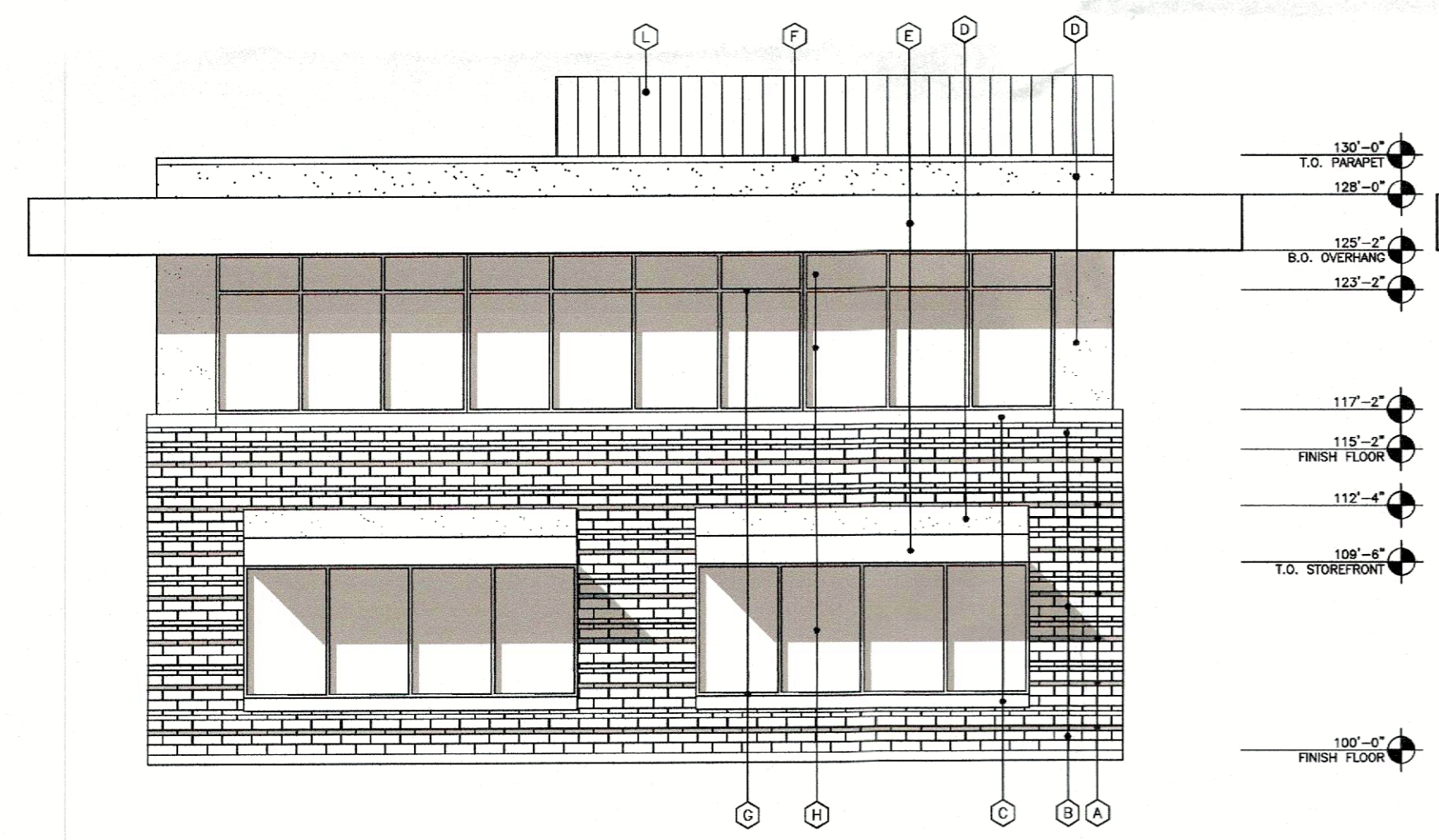
STONE	-	714 S.F.	-	59%
STUCCO	-	279 S.F.	-	23%
<b>TOTAL</b>	-	<b>993 S.F.</b>	-	<b>82%</b>

**5 WEST ELEVATION - WENDY'S**  
SCALE: 1/8" = 1'-0"

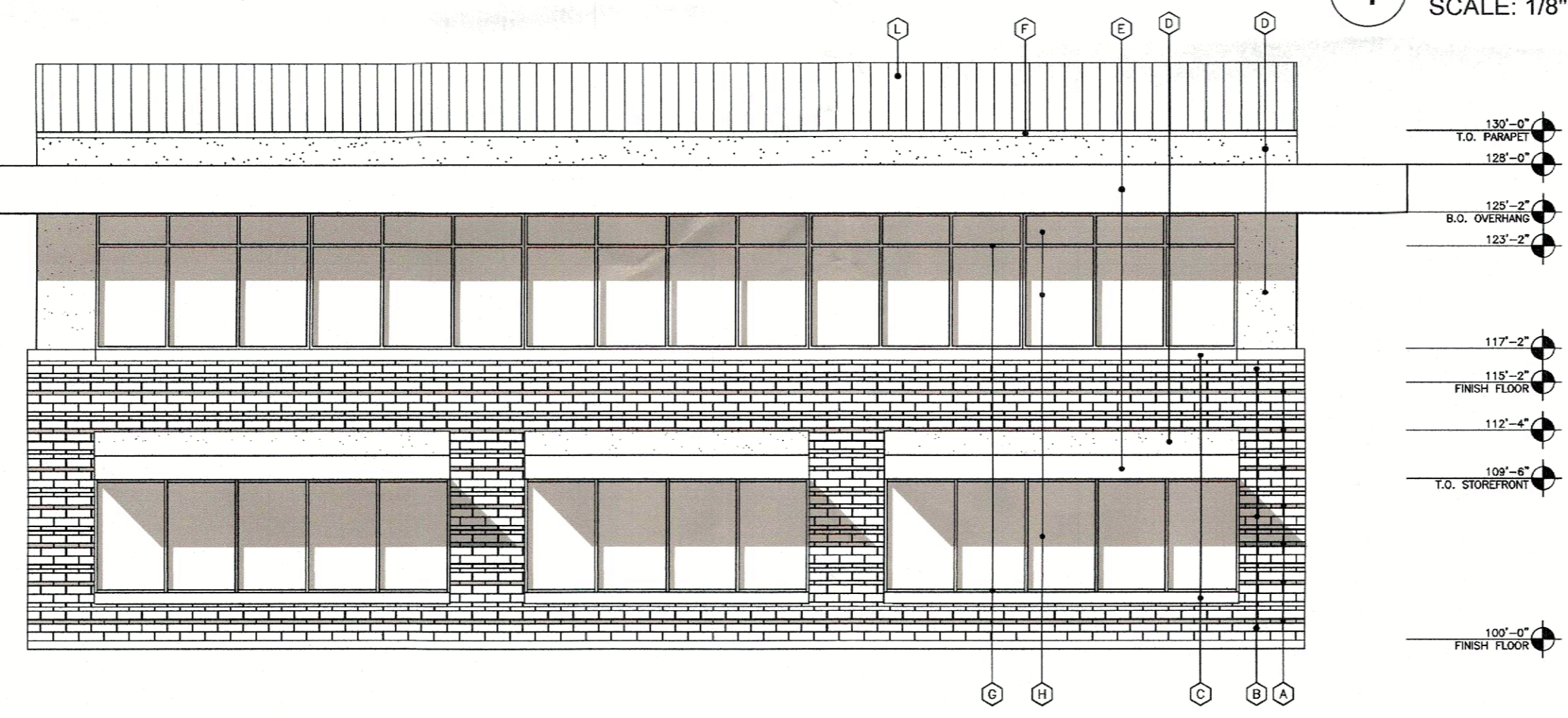


STONE	-	878 S.F.	-	59%
STUCCO	-	328 S.F.	-	22%
<b>TOTAL</b>	-	<b>1206 S.F.</b>	-	<b>81%</b>

**4 NORTH ELEVATION - RIDGE ROAD**  
SCALE: 1/8" = 1'-0"

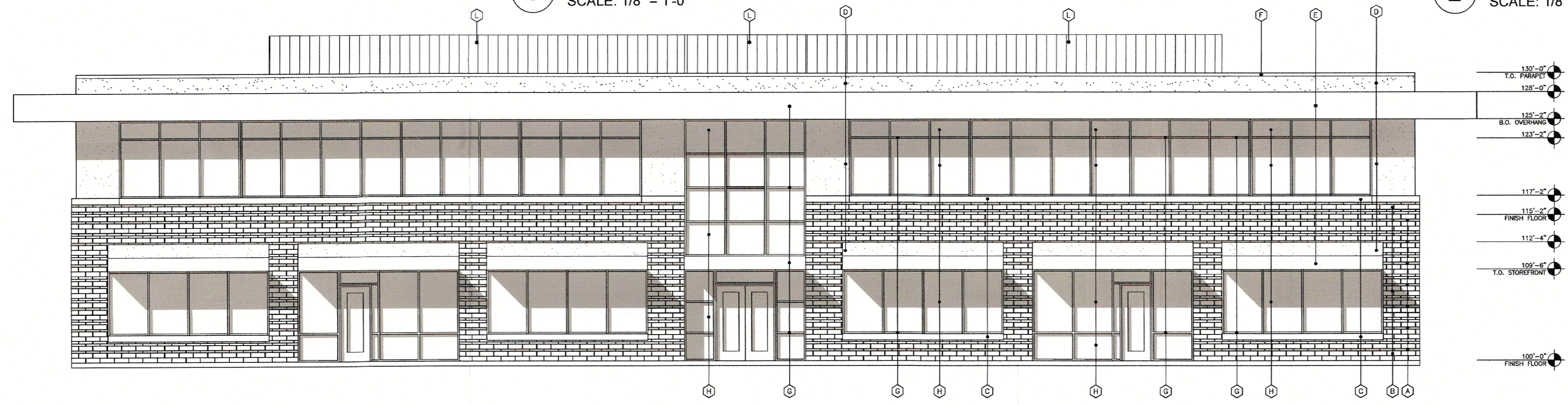


**3 EAST ELEVATION - VIGOR WAY**  
SCALE: 1/8" = 1'-0"



<b>2/3 PERCENTAGES</b>				
STONE	-	1265 S.F.	-	62%
STUCCO	-	440 S.F.	-	21%
<b>TOTAL</b>	-	<b>1705 S.F.</b>	-	<b>83%</b>

**2 EAST ELEVATION - VIGOR WAY**  
SCALE: 1/8" = 1'-0"



STONE	-	1150 S.F.	-	55%
STUCCO	-	521 S.F.	-	25%
<b>TOTAL</b>	-	<b>1671 S.F.</b>	-	<b>80%</b>

**1 SOUTH ELEVATION - I-30**  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
<b>A</b>	STONE VENEER ACCENT COLOR: (4) SIDED CUT STONE USING 3" HEIGHT BY RANDOM LENGTHS, COLOR - LIMESTONE
<b>B</b>	STONE VENEER FIELD COLOR: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 12" TALL, COLOR - LUEDERS DARK GREY
<b>C</b>	STONE CAP: (4) SIDED CUT STONE W/ RANDOM LENGTHS WITH, MAXIMUM SIZE 3" TALL, COLOR - LUEDERS DARK GREY
<b>D</b>	STUCCO: (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW
<b>E</b>	AWNINGS: PREFINISHED MTL. AWNINGS PANELS COLOR - BLACK
<b>F</b>	PREFINISHED METAL COPING COLOR - SILVER
<b>G</b>	ALUMINUM STOREFRONT, COLOR - BLACK
<b>H</b>	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 95% - DARK GREY
<b>J</b>	STUCCO: CONTROL JOINTS AS SHOWN
<b>K</b>	MASONRY EXPANSION JOINT
<b>L</b>	MECHANICAL SCREEN ON ROOF COLOR - LIGHT GREY

ISSUE:	
SITE PLAN:	02-16-2024

COPYRIGHT NOTICE: This drawing is the property of Carroll Architects, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Carroll Architects, Inc. The permission of Carroll Architects, Inc. is required for any use of this drawing in any form, arrangement and combination of drawings, or for any other purpose, without the prior written permission of Carroll Architects, Inc. Carroll Architects, Inc. shall not be liable for any damage, loss, or injury, including reasonable attorney's fees, resulting from the use of this drawing.

**NEW OFFICE DEVELOPMENT**  
**VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC.  
2 ESSEX COURT  
HEATH, TX 75032

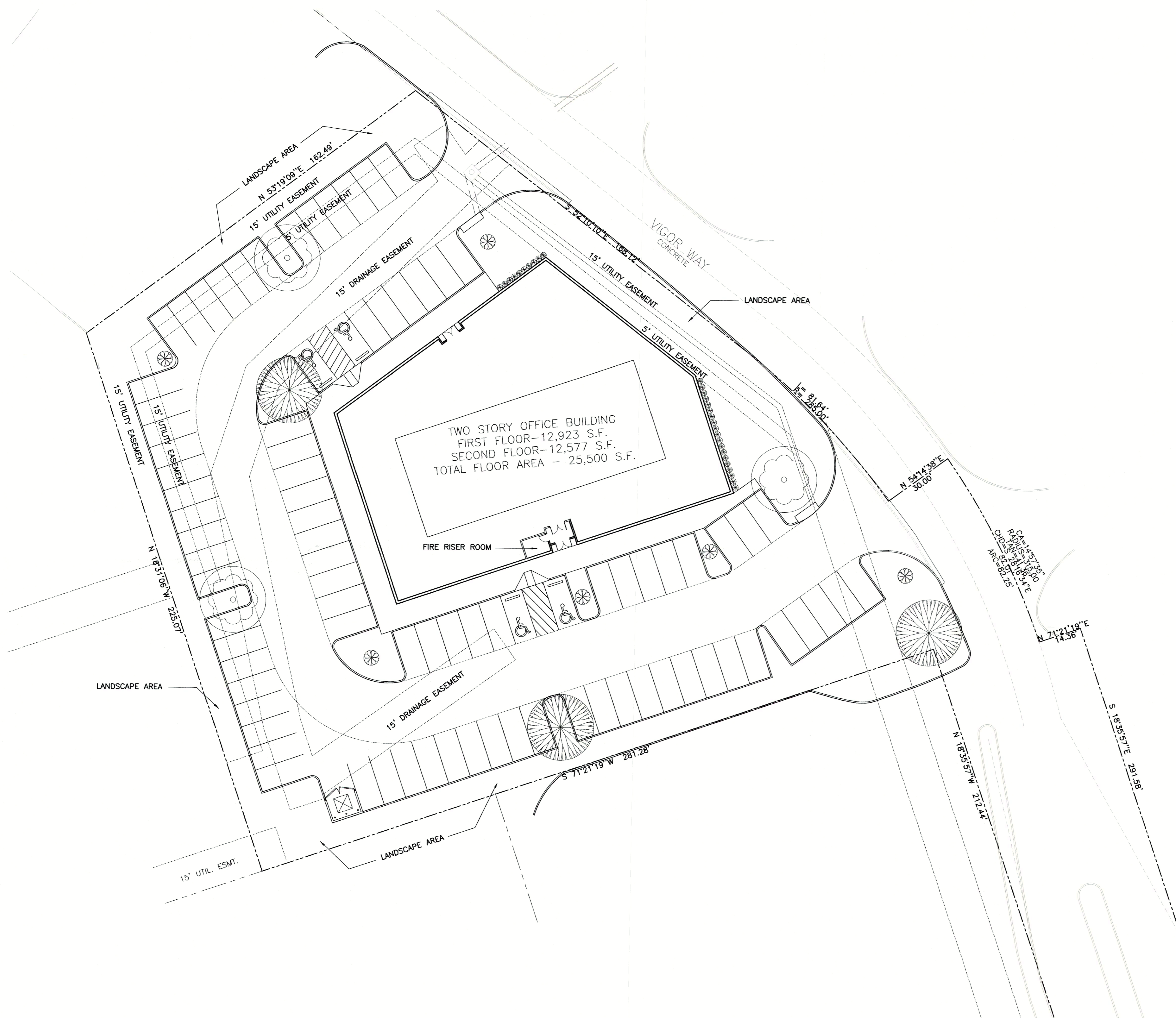
**CARROLL architects**  
750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
P: 972-732-6085  
F: 972-732-8058

CITY OF ROCKWALL CASE NUMBER: SP2024-XXX	
LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
OWNER PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry	APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024. WITNESS OUR HANDS, this _____ day of _____, 2024.	
Director of Planning and Zoning	

**EXTERIOR ELEVATIONS**

DATE: FEB 2024  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY:

**A501**



SITE DATA TABLE	
SITE AREA	1.44 ACRES (62,462 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.44 ACRES (62,462 S.F.)
REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F.	12,492 S.F.
PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F.	15,750 S.F.
IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F.	46,712 S.F.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER:  
SP2024-XXX  
LEGAL DESCRIPTION AND OR ADDRESS:  
LOT 1, BLOCK A  
REPLAT OF ROCKWALL TOWNE CENTRE  
LOT 8 & LOT 9  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER  
PRBBS, LLC  
2 Essex Court  
Heath, TX 75032  
ATTN: Brian Berry

APPLICANT  
Carroll Architects, Inc.  
750 E. Interstate 30 #110  
Rockwall, TX 75087  
P: 972-732-6085  
E: jc@carrollarch.com  
ATTN: Jeff Carroll

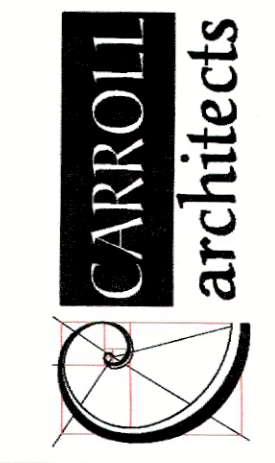
SITE PLAN SIGNATURE BLOCK  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

ISSUE	DATE
SITE PLAN	02-16-2024

**COPYRIGHT NOTICE:**  
These drawings and specifications are the property of Carroll Architects, Inc. and are to be used only for the project and site identified herein. No part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Carroll Architects, Inc.

NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC  
2 ESSEX COURT  
HEATH, TX 75032



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**LANDSCAPE  
SITE PLAN**

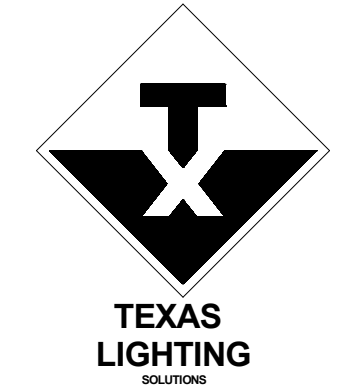
DATE: FEB 2024 SHEET NO.  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY:  
A100

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Cal Ht.
PROP LINE	Illuminance	Fc	0.09	0.7	0.0	N.A.	N.A.	N.A.
SITE	Illuminance	Fc	1.07	4.0	0.0	N.A.	N.A.	0

Symbol	Qty	Label	Arrangement	Description	Manufacturer	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	1	P1	Single	GALN-SA2A-740-U-T1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.900	9180	63	63
	4	P2	Single	GALN-SA1C-740-U-T2-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	5318	57	228
	2	P3	Single	GALN-SA2A-740-U-SLL-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6604	63	126
	2	P4	Single	GALN-SA2A-740-U-SLR-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6604	63	126
	4	WPI	Single	GWC-SA1B-740-U-T3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6105	44	176

**GENERAL NOTES**

-THIS CALCULATION IS BASED ON AN OPEN AREA. OBJECTS AND OBSTRUCTIONS WITHIN THIS AREA WILL AFFECT FINAL LIGHTING LEVELS.  
 -THE CALCULATED FOOTCANDLE LEVELS INDICATE LUMINAIRE PERFORMANCE BASED ON THE INFORMATION PROVIDED TO TEXAS LIGHTING SOLUTIONS, INC. WE MAKE NO CLAIMS OF COMPLIANCE WITH ANY LOCAL OR STATE LIGHTING CODES.  
 -CALCULATIONS ARE PROVIDED USING INDUSTRY RECOGNIZED SOFTWARE AND ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US (ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED). IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA, HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOLTAGE AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DUE TO THE ABOVE CONSIDERATIONS, TEXAS LIGHTING SOLUTIONS CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.



**TEXAS LIGHTING SOLUTIONS**

14760 TRINITY BLVD, SUITE 150  
 FORT WORTH, TEXAS 76155  
 TEL: 817-267-9300  
 TLS CONSULTANT: GALIB NAJAFI  
 CLIENT: JAMES F TURNER

**REVISION**

#	DATE	INITIALS

SCALE: 1/24" = 1'-0"  
 SHEET SIZE 24" X 36"

JOB NAME: **VIGOR WAY OFFICE BUILDING**

JOB LOCATION: **ROCKWALL, TEXAS**

PHOTOMETRIC PLAN  
 SCALE: 1/24" = 1'-0"



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-005  
PROJECT NAME: Site Plan for Ellis Centre Medical Office  
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/23/2024	Approved w/ Comments

02/23/2024: SP2024-005; Site Plan for Ellis Centre Medical Office

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Akhil Vats of Vedanta Estates, LLC for the approval of a Site Plan for a medical office building on a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2024-005) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

#### M.5 Site Plan

- (1) Provide the dimensions of a typical parking space. Parking spaces shall all be 9'x20', according to the City of Rockwall Engineering Standards of Design. (Subsection 05.03, of Article 06, UDC)
- (2) Indicate the centerline for Alpha Drive. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please indicate where the Chiller is located on the site plan.

#### M.6 Building Elevations

- (1) Provide horizontal measurements for all facades.
- (2) Indicate which building elevation is facing Alpha drive (East Elevation).
- (3) Indicate the surface area of each façade. (Subsection 04.01, of Article 05, UDC)
- (4) Indicate roof pitch. All structures (within a Light Industrial (LI) District) shall have the option of being constructed with either a pitched (minimum of 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. (Subsection 05.01.A.2, of Article 05, UDC) If the 6:12 minimum is not met, a variance from the Planning and Zoning Commission will be required.

- (5) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- (6) Subsection 06.02(C)(5) of Article 05, District Development Standards, of the UDC requires that "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." The proposed building does not meet this requirement.
- (7) Dumpsters shall be four (4) sided, eight (8) foot in height, solid masonry enclosures that is 12' x 10' and utilizes the primary building materials of the associated building. Dumpster enclosures must incorporate a self-latching gate. Please provide a detail showing the building elevations for the dumpster enclosure (Subsection 06.02.D.7, of Article 05, UDC)

M.7 Landscape Plan

- (1) Four (4) Canopy trees and four (4) accent trees are required within the landscape buffer along Alpha Drive. A berm is also required. (Subsection 06.02.E, Article 05, UDC)
- (2) Provide a note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08, UDC) Provide the surface area for the detention basin. There shall be a minimum of one (1) canopy tree per 750 SF and one (1) accent tree per 1,500 SF of detention area. (Subsection 05.03.D, of Article 08, UDC)

M.8 Photometric Plan

- 1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one footcandle. At the north property line, there is a reading of 0.3 FC. Please revise to meet the UDC requirements. (Subsection 03.03.C, of Article 07, UDC)

M.9 Based on the materials submitted staff has identified the following variances for this project:

- (1) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), Four (4) Sided Architecture, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case the applicant is required to meet the building articulation standards for the primary building façade on all sides of the building, specifically, the projections. Given the proposed building elevations and landscape plan, the applicant does not meet the articulation requirements or tree requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Primary Articulation. Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on March 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 27, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on March 12, 2024.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

- 02/23/2024: 1. If this becomes a dumpster an oil/water separator will be required.  
 2. Review City's trash enclosure dimensions.  
 3. Business to the south is using this area for dumpster.  
 4. Needs to be in a 20' easement.  
 5. If you have a dumpster it will be 7" thick.  
 6. Sanitary sewer service must connect to a manhole. If an existing manhole cannot be used, a new manhole must be installed by the developer.  
 7. Service crossing of Alpha must be by bore. No open cut.  
 8. All drainage must outfall toward Alpha's existing storm system. Detention pond on the high side of the site may be difficult to have the entire site drain against grade to get to the detention system.  
 9. All trees must be 10' from 12" water line.  
 10. In conflict with fire hydrant.  
 11. Landscape plan is subject to change with engineering plan review.  
 12. No Trees within 5' of any public City utility less than 10" in diameter and trees must be 10' of any public City utility 10" or larger.  
 13. Landscape berm may not be located on top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved w/ Comments
02/21/2024: The off-site fire lane shall be platted if not already done.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved
No Comments			

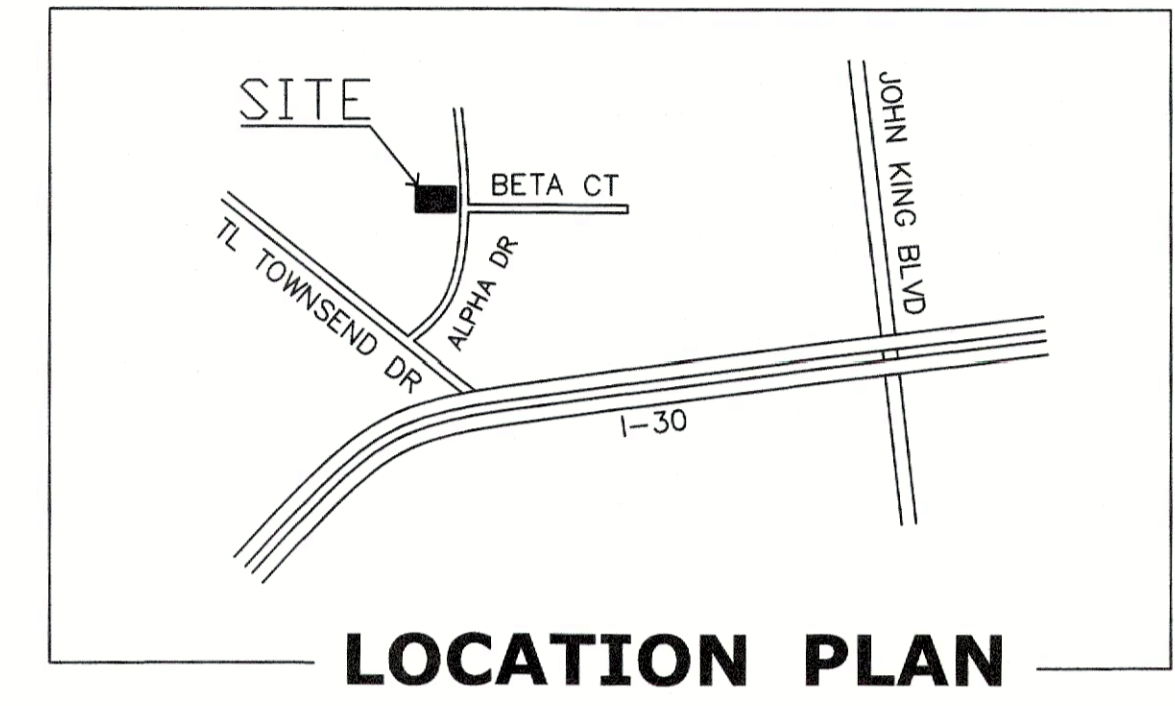
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/20/2024	Approved
No Comments			

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
- ZONING: L I
  - PROPOSED USE: MEDICAL OFFICE
  - PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
  - BUILDING AREA: 7,200 SF
  - BUILDING HEIGHT: ONE STORY - 28'-3"
  - LOT COVERAGE: 23.6% F.A.R. = 0.236:1
  - PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
  - HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
  - TOTAL PARKING PROVIDED: 36 SPACES
  - TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
  - 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB  
ALL SIDEWALKS SHALL BE 3,000 PSI CONC  
MIN 5.5 SACK MIX.  
ALL RADI ARE 2'-0" U.N.O.  
ANY DISCREPANCIES BETWEEN THE PLAN &  
THE CIVIL ENGINEER'S PLANS SHALL REFER  
TO THE CIVIL ENGINEER.



**SITE PLAN SIGNATURE BLOCK**

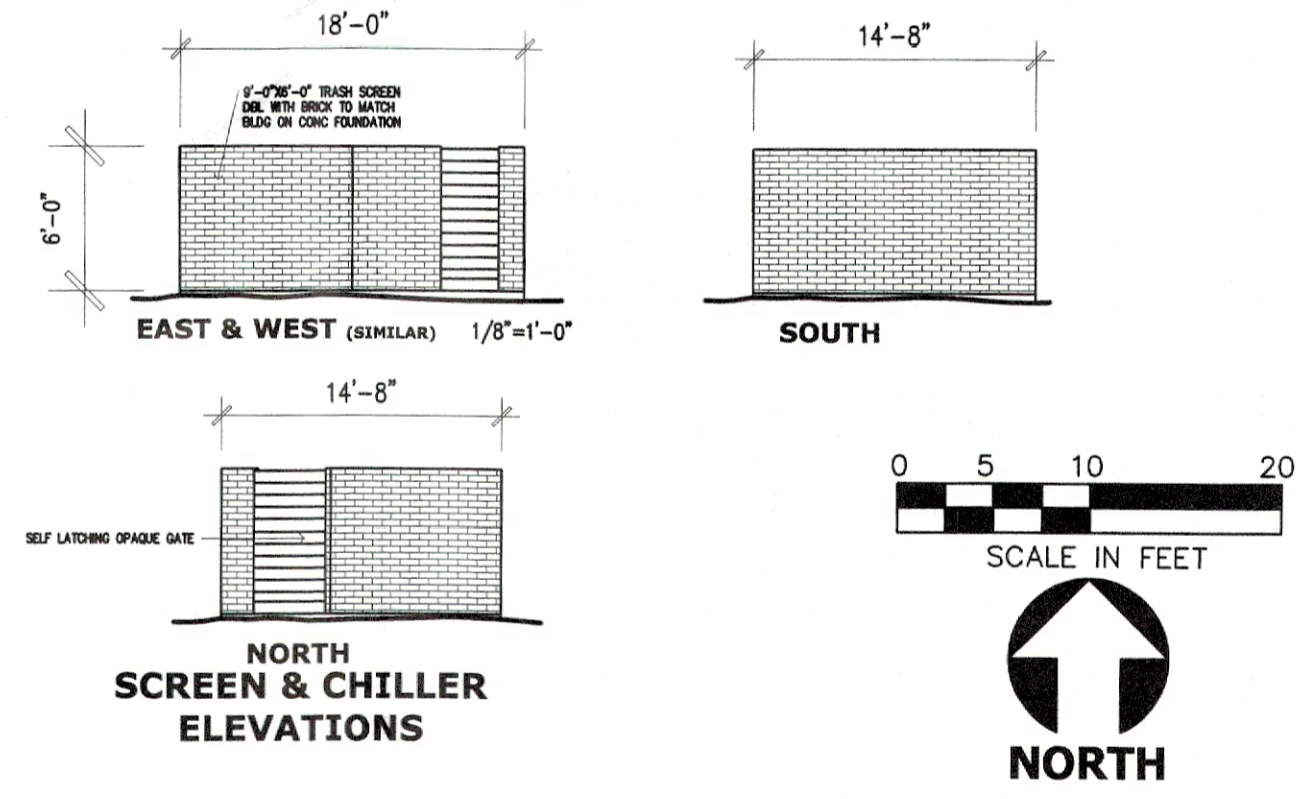
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the \_\_\_\_\_ 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

NOTE: DUMPSTER PAVING AND FIRE LANE PAVING SHALL BE MIN. 6" THICK, 3600 PSI CONCRETE 6.5 SACK MIX



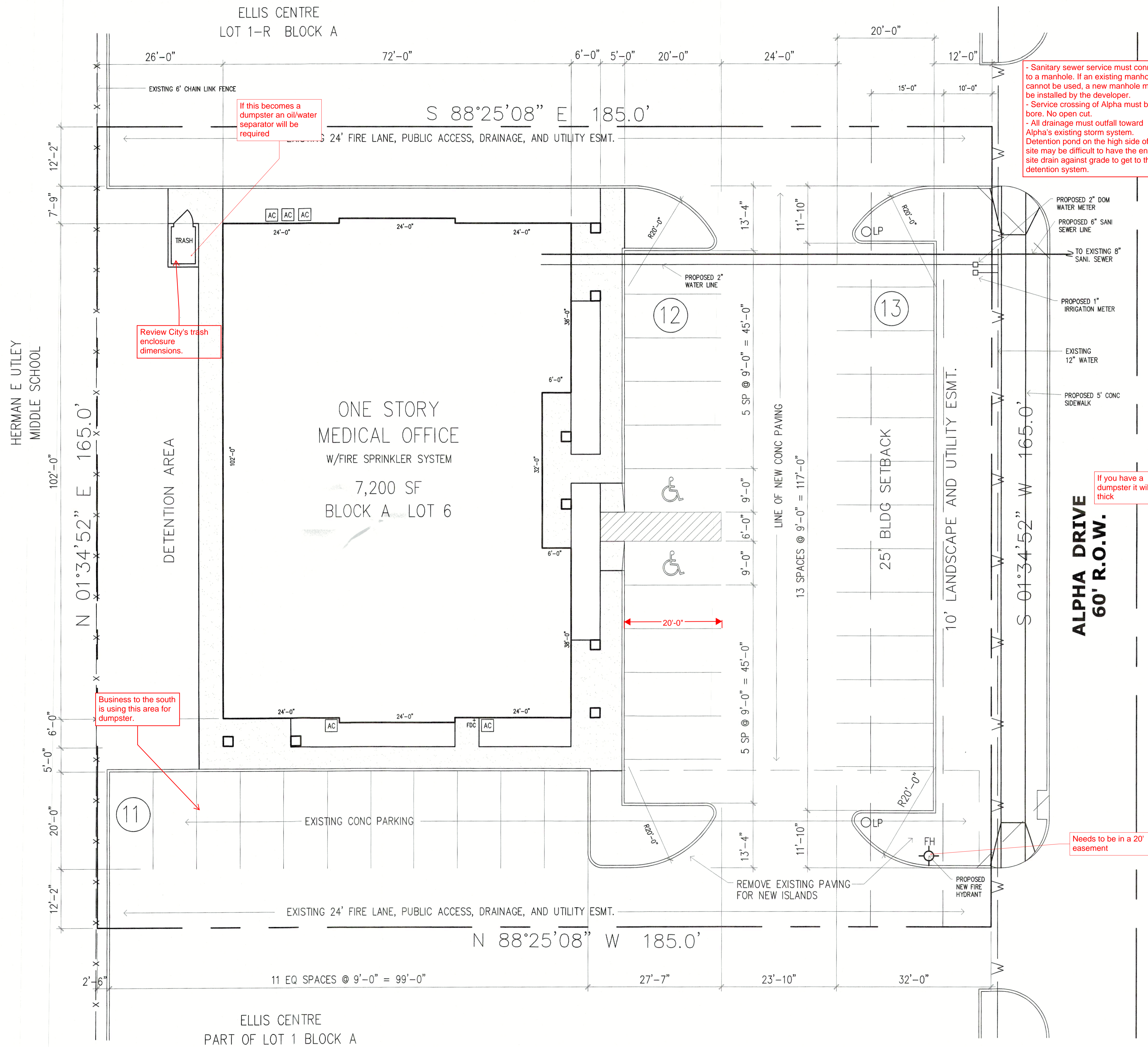
**PRICING & CONSTRUCTION GENERAL NOTES:**

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

**ELLIS CENTRE INDUSTRIAL PARK**  
BEING A 0.70 AC. TRACT OF LAND SITUATED IN THE ELLIS CENTRE #2 INDUSTRIAL PARK LOT 6 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER**  
ADAT ESTATE LLC  
486 ARCADIA WAY  
ROCKWALL, TEXAS 75087  
CASE #SP2020-010

**© COPYRIGHT 2022 WALLIS ARCHITECTS**



- Sanitary sewer service must connect to a manhole. If an existing manhole cannot be used, a new manhole must be installed by the developer.  
- Service crossing of Alpha must be by bore. No open cut.  
- All drainage must outfall toward Alpha's existing storm system. Detention pond on the high side of the site may be difficult to have the entire site drain against grade to get to the detention system.

If this becomes a dumpster an oil/water separator will be required

Review City's trash enclosure dimensions.

Business to the south is using this area for dumpster.

If you have a dumpster it will be 7' thick

Needs to be in a 20' easement

**CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL**

**WALLIS ASSOCIATES**

132 BERKSHIRE LANE  
WAKARUSCHIE, TEXAS 75165  
PHONE: 817-235-9253

No.	Date	By	Revision



**ELLIS CENTER MEDICAL OFFICE**  
**ROCKWALL, TEXAS**

**SITE PLAN**

Scale: 1" = 10'-0"

Date: 2/16/2024

Project No.: 200204

Designed: GW

Drawn: GW

Checked: GW

SHEET **A1** OF **17**

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

	REQUIRED	PROVIDED
1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	3	5
2. LANDSCAPE BUFFER	10'	10'
3. SCREENING OF OFF STREET PARKING	NO	NO
4. TOTAL LANDSCAPE AREA 15% REQUIRED	4,580 SF	5,973 SF
5. 4 TREES REQUIRED AT REAR OF PROPERTY	4	4

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
- ZONING: L I
  - PROPOSED USE: MEDICAL OFFICE
  - PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
  - BUILDING AREA: 7,200 SF
  - BUILDING HEIGHT: ONE STORY - 28'-3"
  - LOT COVERAGE: 23.6% F.A.R. = 0.236:1
  - PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
  - HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
  - TOTAL PARKING PROVIDED: 36 SPACES
  - TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
  - 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

THERE IS NO MITIGATION FOR THIS PROPERTY

- LIVE OAKS (15)  
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (17)  
MIN 4' TALL
- INDIAN HAWTHORNE (90)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (126)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SOODED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

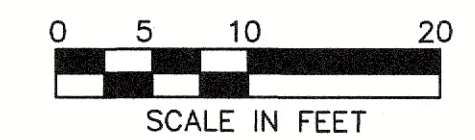
TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SOODED

- Landscape plan is subject to change with engineering plan review.

- No Trees within 5' of any public City utility less than 10" in diameter and trees must be 10' of any public City utility 10" or larger.

- Landscape berm may not be located on top of City utilities.



PRICING & CONSTRUCTION

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ELLIS CENTRE INDUSTRIAL PARK  
BEING A 0.70 AC. TRACT OF LAND SITUATED IN THE ELLIS CENTRE #2 INDUSTRIAL PARK LOT 6 BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER  
ADAT ESTATE LLC  
488 BUCKLEBAY  
ROCKWALL, TEXAS 75087

CASE #SP2020-010

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 11th day of February, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

HERMAN E UTLEY  
MIDDLE SCHOOL

N 01°34'52" E 165.0'

DETENTION AREA

ONE STORY  
MEDICAL OFFICE  
W/FIRE SPRINKLER SYSTEM  
7,200 SF  
BLOCK A LOT 6

S 88°25'08" E 185.0'

N 88°25'08" W 185.0'

S 01°34'52" W 165.0'

ALPHA DRIVE  
60' R.O.W.

All trees must be  
10' from 12"  
water line

25' BLDG SETBACK

In conflict with fire  
hydrant.

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL  
**WALLIS ARCHITECTS**  
139 BERKSHIRE LANE  
WAKAHACHE, TEXAS 75165  
PHONE: 817-235-9253

No.	Date	By	Revision



ELLIS CENTER MEDICAL OFFICE  
ROCKWALL, TEXAS  
**LANDSCAPE PLAN**

Scale: 1" = 10'-0"  
Date: 2/16/2024  
Project No.: 200204  
Designed: GW  
Drawn: GW  
Checked: GW

SHEET  
**1** OF  
**1**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS ALPHA DRIVE

SUBDIVISION ELLIS CENTER INDUSTRIAL PARK #2 LOT 6 BLOCK A

GENERAL LOCATION ALFA DR & BETA WAY

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE N/A

PROPOSED ZONING LI

PROPOSED USE MEDICAL USE

ACREAGE 0.70 AC

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER VEDANTA ESTATES, LLC.  APPLICANT CARROLL ARCH. INC.

CONTACT PERSON AKHIL VATS

CONTACT PERSON JEFF CARROLL

ADDRESS 482 ACADIA WAY

ADDRESS 750 E. INTERSTATE 30 #110

CITY, STATE & ZIP ROCKWALL, TX. 75087

CITY, STATE & ZIP ROCKWALL TX 75087

PHONE 817.235.9253

PHONE 214.632.1762

E-MAIL WALLISASSOCIATES@gmail.com

E-MAIL JC@CARROLLARCH.COM

## NOTARY VERIFICATION [REQUIRED]

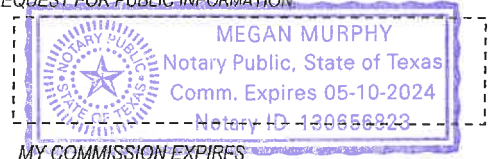
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll <sup>Applicant</sup> [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

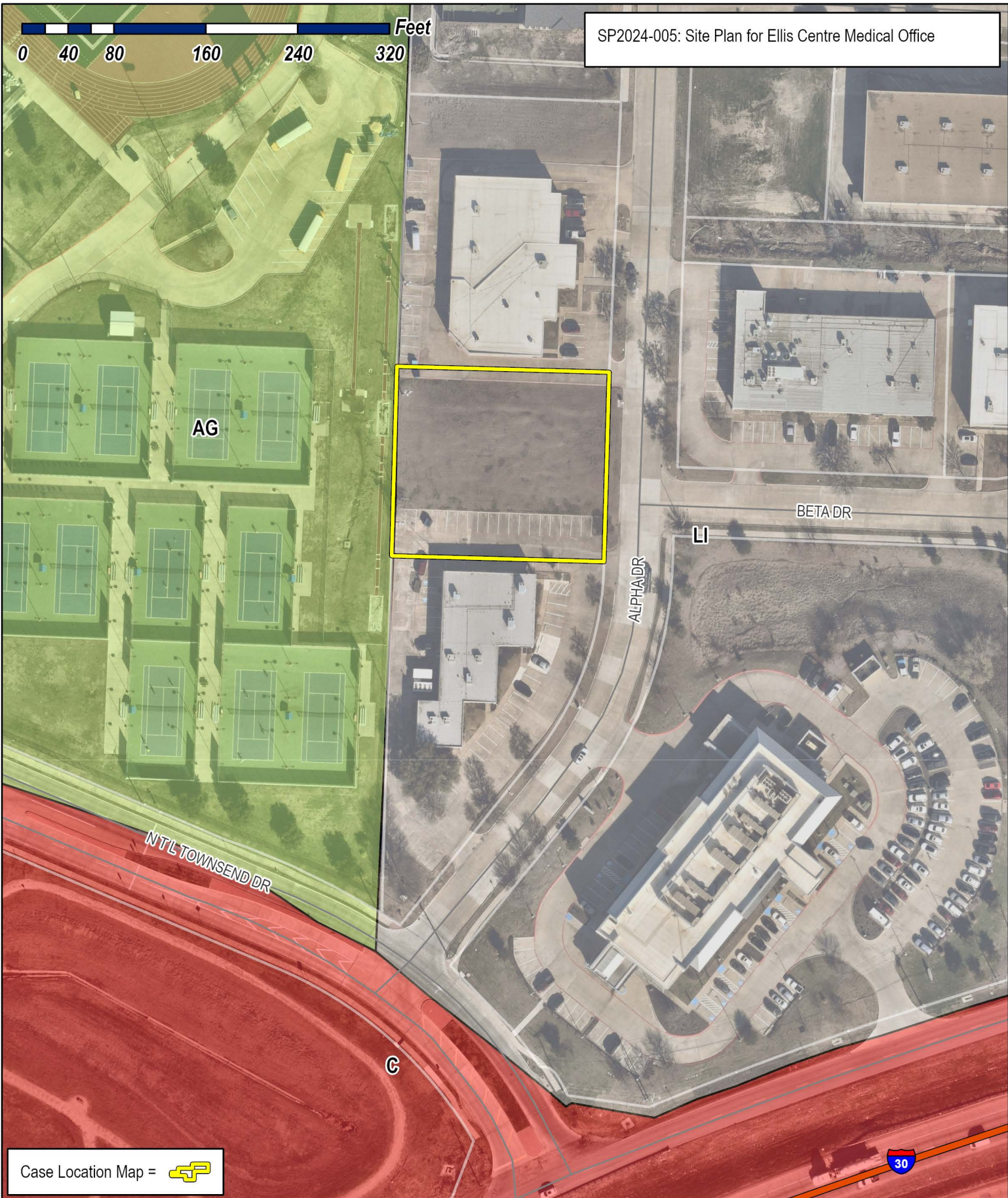
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ February 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant OWNER'S SIGNATURE Jeff Carroll

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



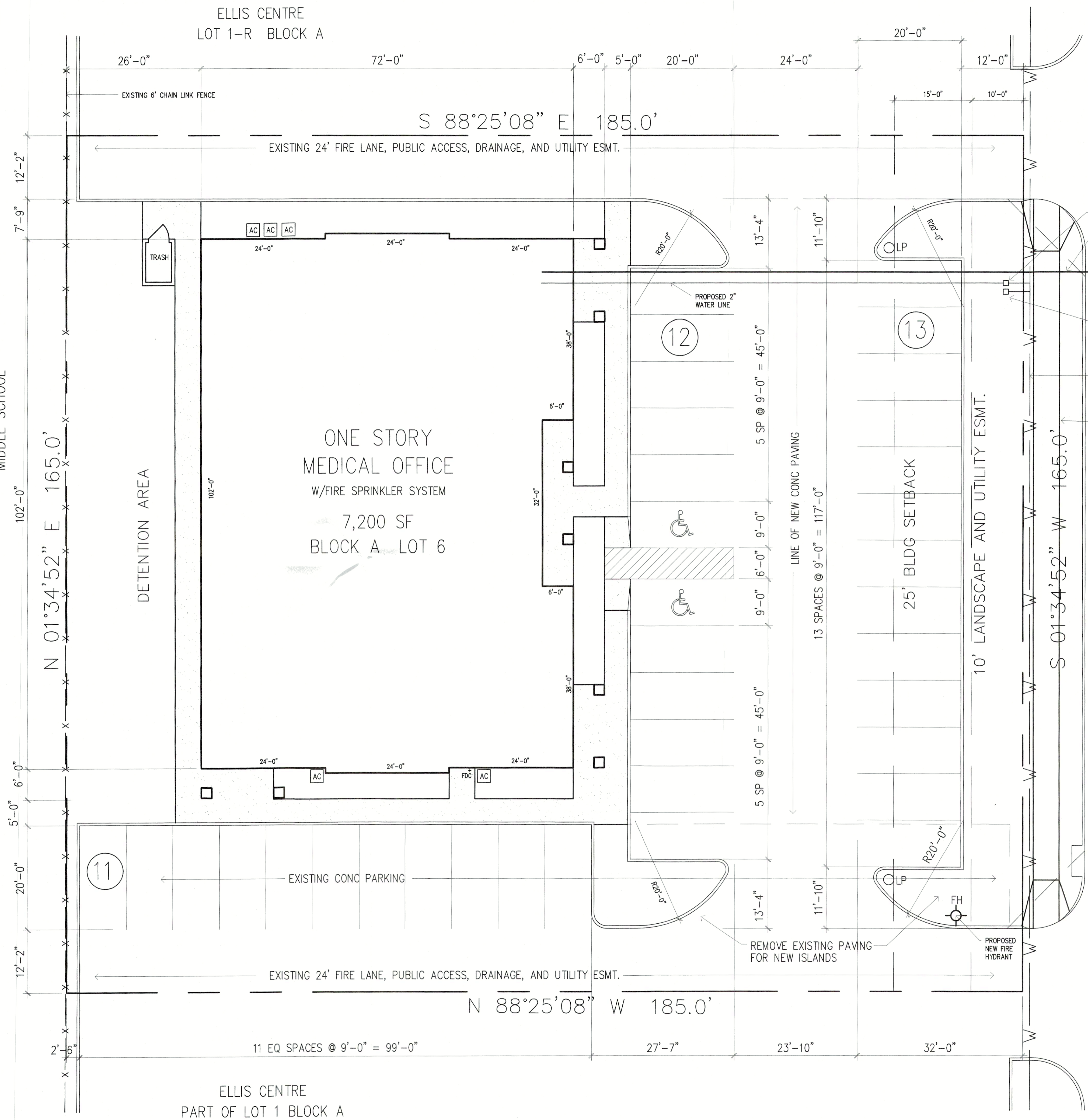
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



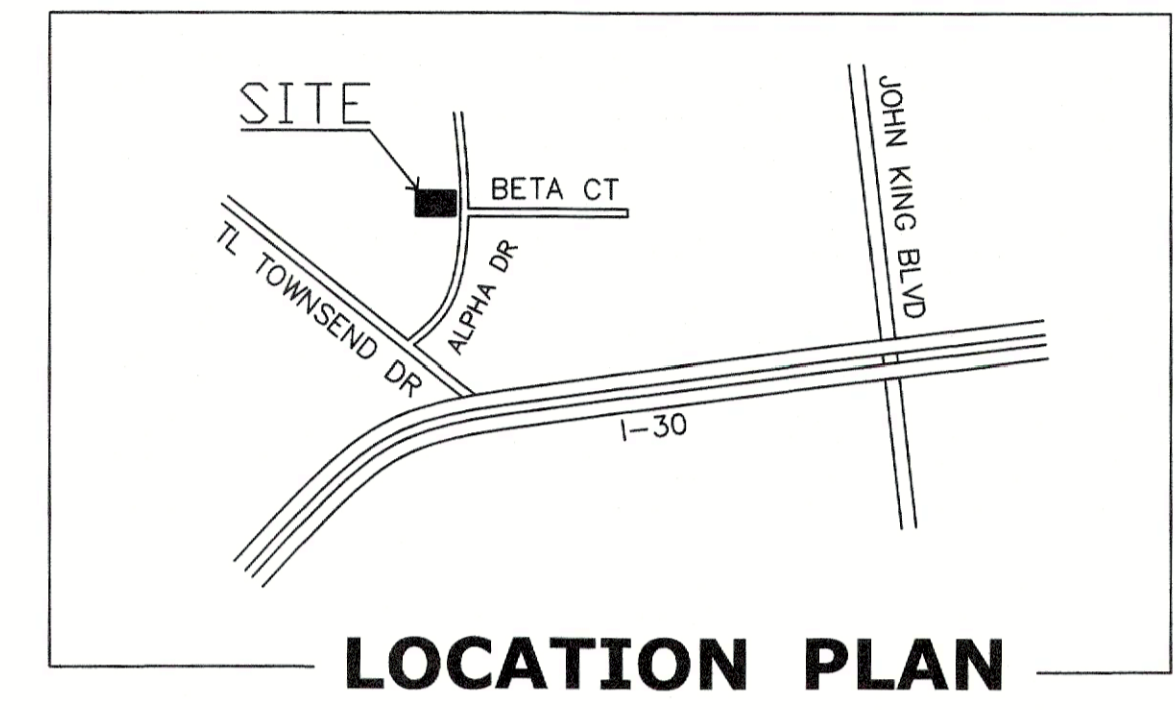
HERMAN E UTLEY  
MIDDLE SCHOOL



CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
1. ZONING: L I
  2. PROPOSED USE: MEDICAL OFFICE
  3. PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
  4. BUILDING AREA: 7,200 SF
  5. BUILDING HEIGHT: ONE STORY - 28'-3"
  6. LOT COVERAGE: 23.6% F.A.R. = 0.236:1
  7. PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
  8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
  9. TOTAL PARKING PROVIDED: 36 SPACES
  10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
  11. 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB  
ALL SIDEWALKS SHALL BE 3,000 PSI CONC  
MIN 5.5 SACK MIX.  
ALL RADI ARE 2'-0" U.N.O.  
ANY DISCREPANCIES BETWEEN THE PLAN &  
THE CIVIL ENGINEER'S PLANS SHALL REFER  
TO THE CIVIL ENGINEER.



SITE PLAN SIGNATURE BLOCK

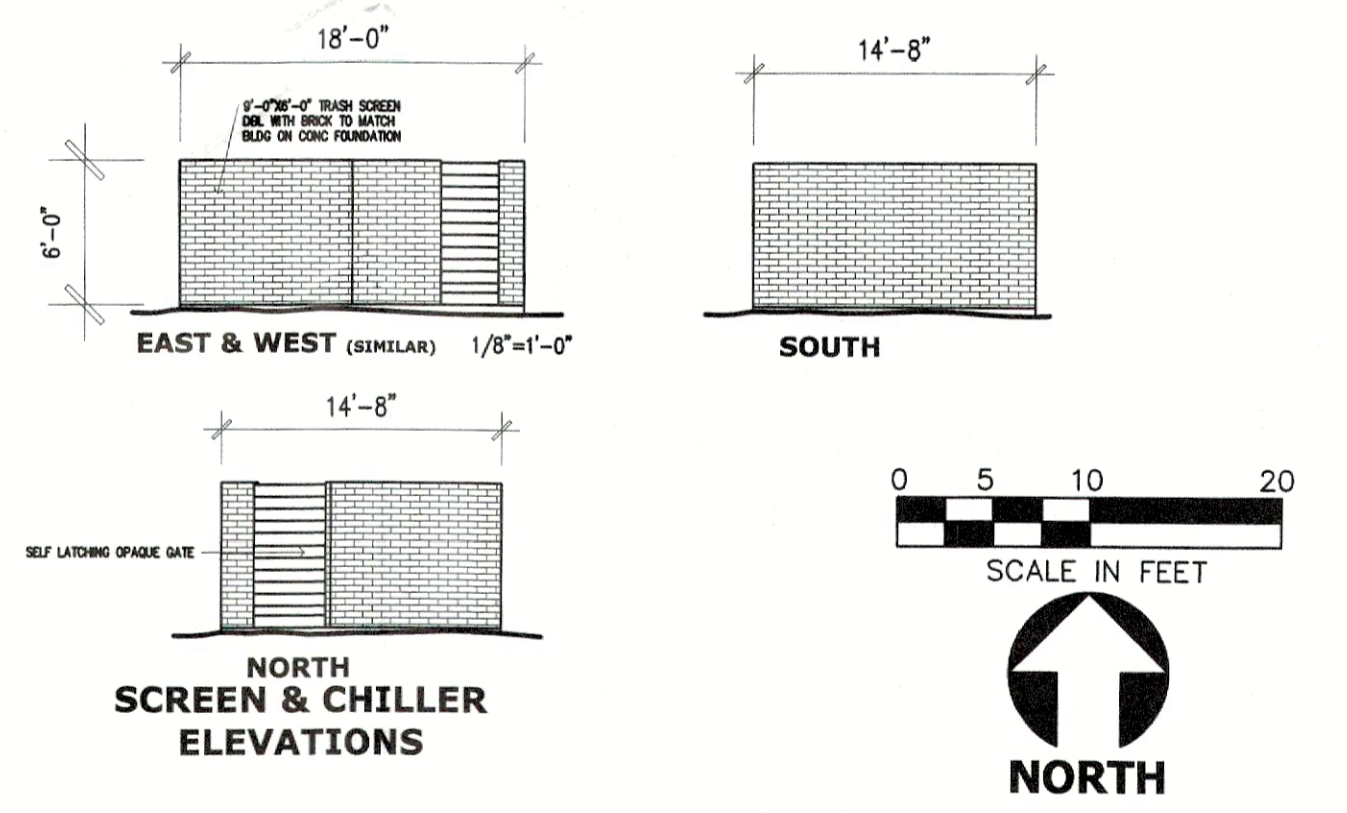
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the \_\_\_\_\_ 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

NOTE: DUMPSTER PAVING AND FIRE LANE PAVING SHALL BE MIN. 6" THICK, 3600 PSI CONCRETE 6.5 SACK MIX



PRICING & CONSTRUCTION  
GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ELLIS CENTRE  
INDUSTRIAL PARK  
BEING A 0.70 AC. TRACT OF LAND SITUATED  
IN THE ELLIS CENTRE #2 INDUSTRIAL PARK  
LOT 6 BLOCK A IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

OWNER  
ADAT ESTATE LLC  
486 ARCADIA WAY  
ROCKWALL, TEXAS 75087  
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL  
**WALLIS ASSOCIATES**  
132 BERKSHIRE LANE  
WAKARUSCHIE, TEXAS 75165  
PHONE: 817-235-9253

No.	Date	Revision	By



ELLIS CENTER MEDICAL OFFICE  
ROCKWALL, TEXAS  
**SITE PLAN**

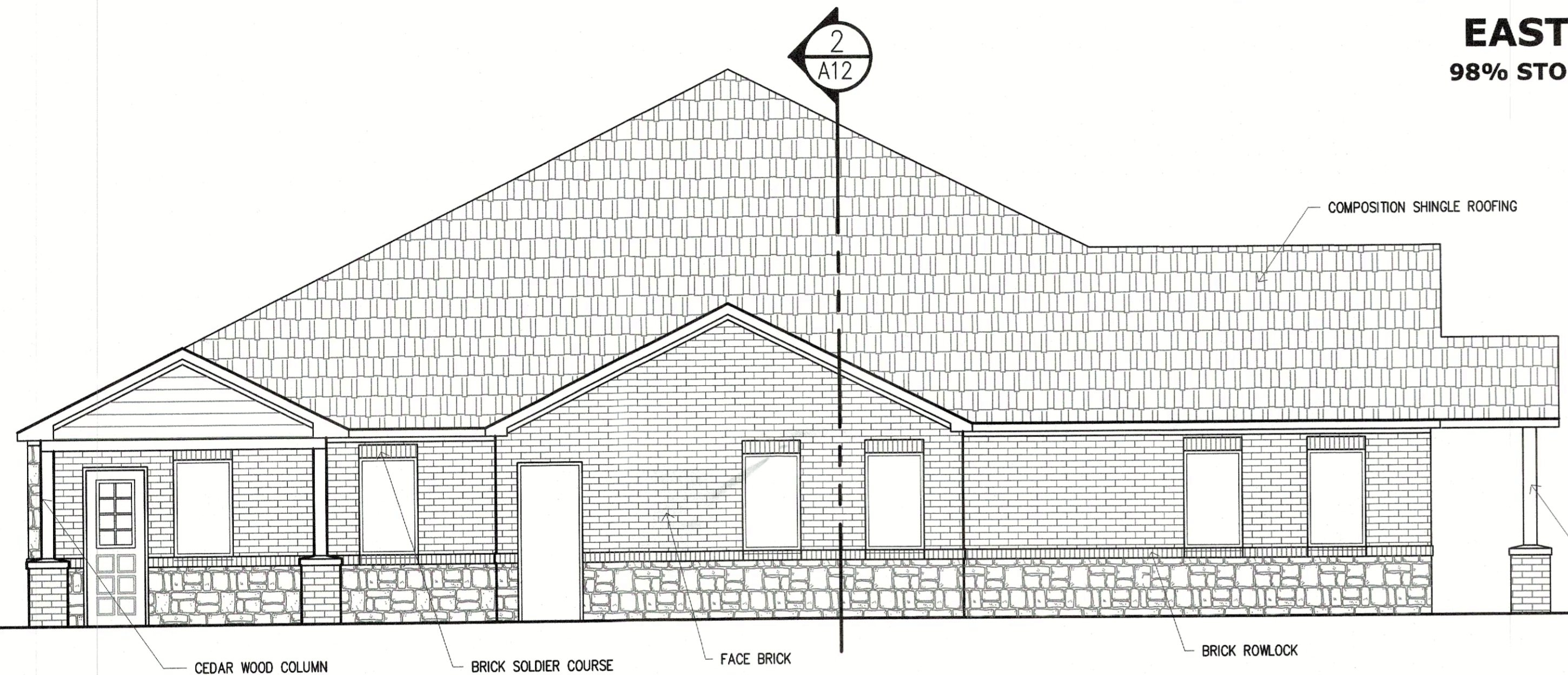
Scale: 1" = 10'-0"  
Date: 2/16/2024  
Project No.: 200204  
Designed: GW  
Drawn: GW  
Checked: GW

SHEET  
**A1** OF  
**17**

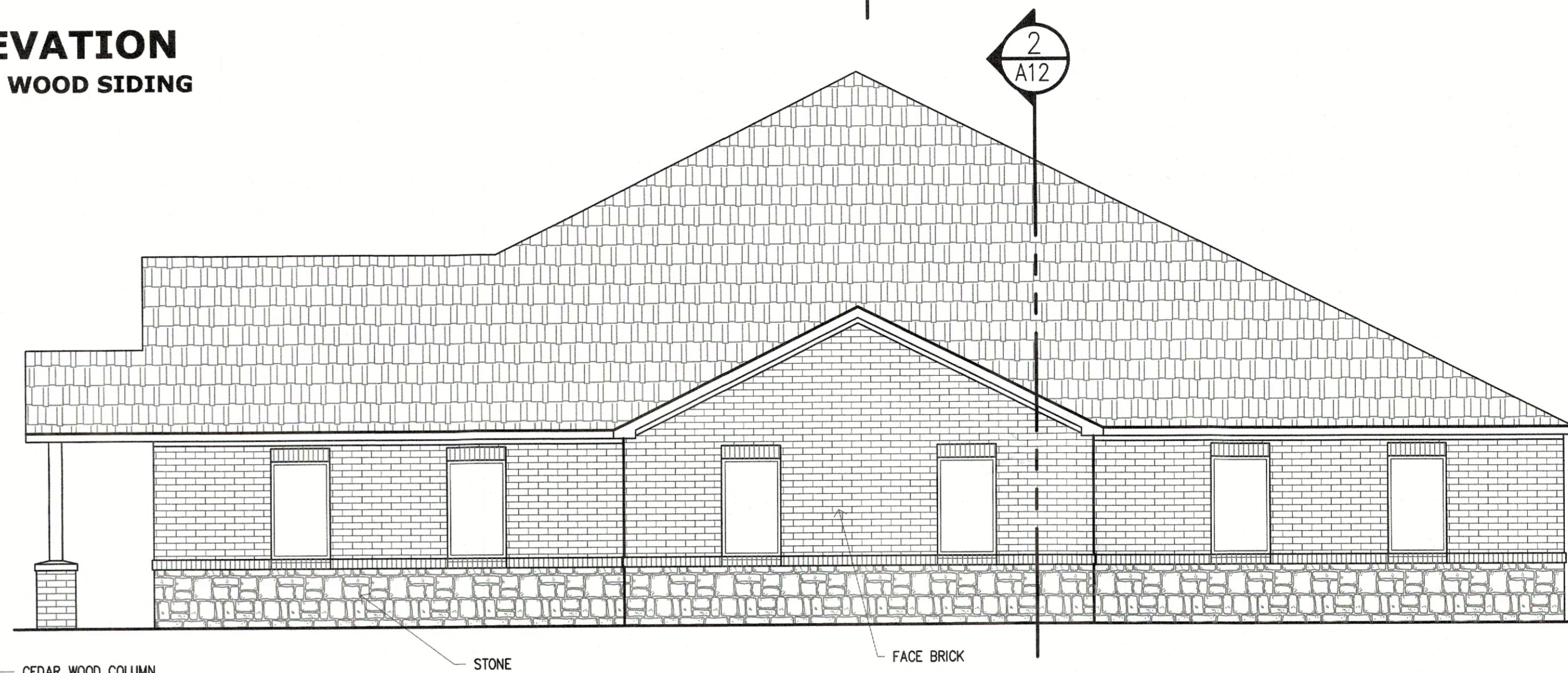




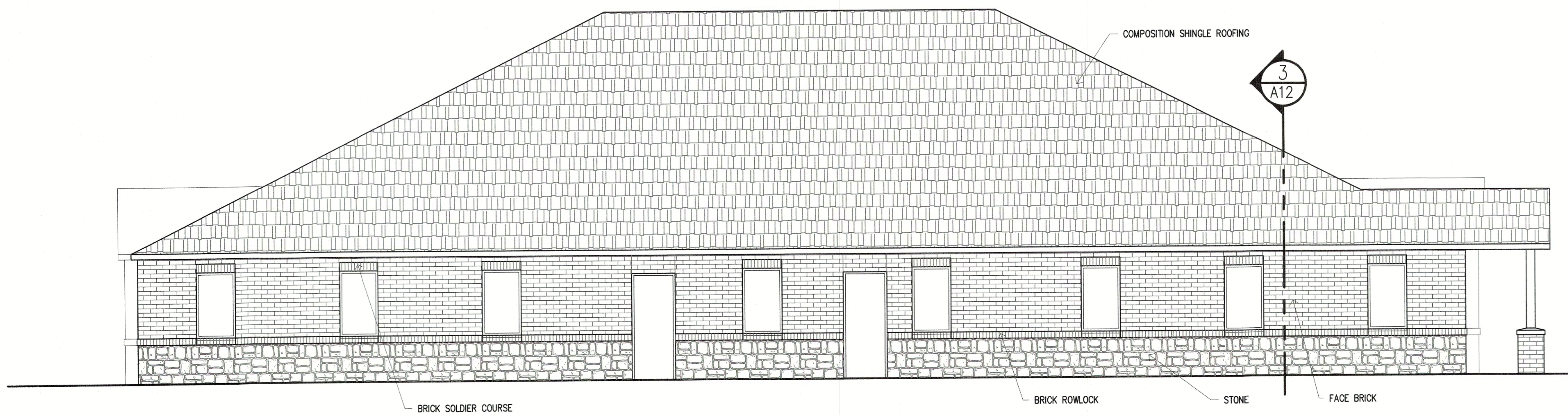
**EAST ELEVATION**  
98% STONE 2% WOOD SIDING



**SOUTH ELEVATION**  
30% STONE 4% WOOD SIDING 66% BRICK



**NORTH ELEVATION**  
31% STONE 69% BRICK



**WEST ELEVATION**  
35% STONE 65% BRICK

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the \_\_\_\_\_, 2024.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**PRICING & CONSTRUCTION GENERAL NOTES:**

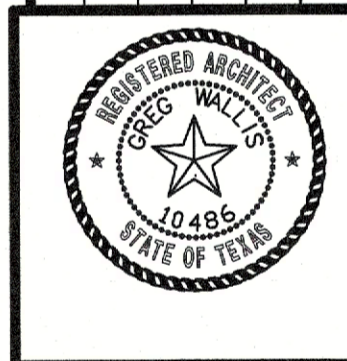
1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER  
ADAT ESTATE LLC  
488 ARCADIA WAY  
ROCKWALL, TEXAS 75087  
CASE #SP2024-000

© COPYRIGHT 2022 WALLIS ARCHITECTS

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL  
**WALLIS ASSOCIATES**  
132 BERKSHIRE LANE  
WAKAHADIE, TEXAS 75165  
PHONE: 817-235-9253

No.	Date	Revision	By



ELLIS CENTER MEDICAL OFFICE  
ROCKWALL, TEXAS

**EXTERIOR ELEVATIONS**

Scale:	3/16" = 1'-0"
Date:	2/16/2024
Project No.:	200204
Designed:	CW
Drawn:	CW
Checked:	CW

**A4** 17









CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

	REQUIRED	PROVIDED
1. STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	3	5
2. LANDSCAPE BUFFER	10'	10'
3. SCREENING OF OFF STREET PARKING	NO	NO
4. TOTAL LANDSCAPE AREA 15% REQUIRED	4,580 SF	5,973 SF
5. 4 TREES REQUIRED AT REAR OF PROPERTY	4	4

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
- ZONING: L I
  - PROPOSED USE: MEDICAL OFFICE
  - PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
  - BUILDING AREA: 7,200 SF
  - BUILDING HEIGHT: ONE STORY - 28'-3"
  - LOT COVERAGE: 23.6% F.A.R. = 0.236:1
  - PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
  - HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
  - TOTAL PARKING PROVIDED: 36 SPACES
  - TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
  - 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

THERE IS NO MITIGATION FOR THIS PROPERTY

- LIVE OAKS (15)  
INSTALLED WITH A MIN. 4" CALIPER
- RED BUD (17)  
MIN 4' TALL
- INDIAN HAWTHORNE (90)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 30" TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.
- BOXWOOD BUSH (126)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

NO PARKING SPACE SHALL BE MORE THAN 80' FROM A CANOPY TREE

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE SODDED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

ALL R.O.W. SHALL BE SODDED

HERMAN E UTLEY  
MIDDLE SCHOOL

N 01°34'52" E 165.0'

S 88°25'08" E 185.0'

S 01°34'52" W 165.0'

N 88°25'08" W 185.0'

ALPHA DRIVE  
60' R.O.W.

ONE STORY  
MEDICAL OFFICE  
W/FIRE SPRINKLER SYSTEM  
7,200 SF  
BLOCK A LOT 6

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 11th day of February, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

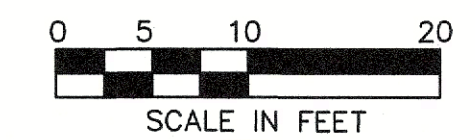
\_\_\_\_\_  
Director of Planning and Zoning

ELLIS CENTRE  
INDUSTRIAL PARK  
BEING A 0.70 AC. TRACT OF LAND SITUATED  
IN THE ELLIS CENTRE #2 INDUSTRIAL PARK  
LOT 6 BLOCK A IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

OWNER  
ADAT ESTATE LLC  
488 BUCKLEBAY WAY  
ROCKWALL, TEXAS 75087

CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS



PRICING & CONSTRUCTION

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ELLIS CENTER MEDICAL OFFICE  
ROCKWALL, TEXAS

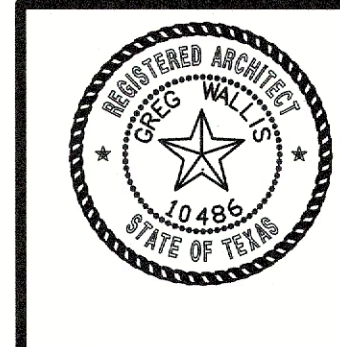
LANDSCAPE PLAN

Scale: 1" = 10'-0"  
Date: 2/16/2024  
Project No.: 200204  
Designed: GW  
Drawn: GW  
Checked: GW

SHEET  
11 OF  
1

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL  
**WALLIS ASSOCIATES**  
139 BERKSHIRE LANE  
WAKAHACHE, TEXAS 75165  
PHONE: 817-235-9253

No.	Date	By	Revision



Luminaire Schedule		Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
LP	2	LITHONIA_DSX1 LED P5 40K TFTM VOLTAGE MOUNTING HS FINISH	12359	138	1.000	0.808	1.000	
WP	5	LITHONI_WDGE1 LED P2 40K 80CRI VF VOLTAGE MOUNTING FINISH	1979	15.0178	1.000	0.808	1.000	

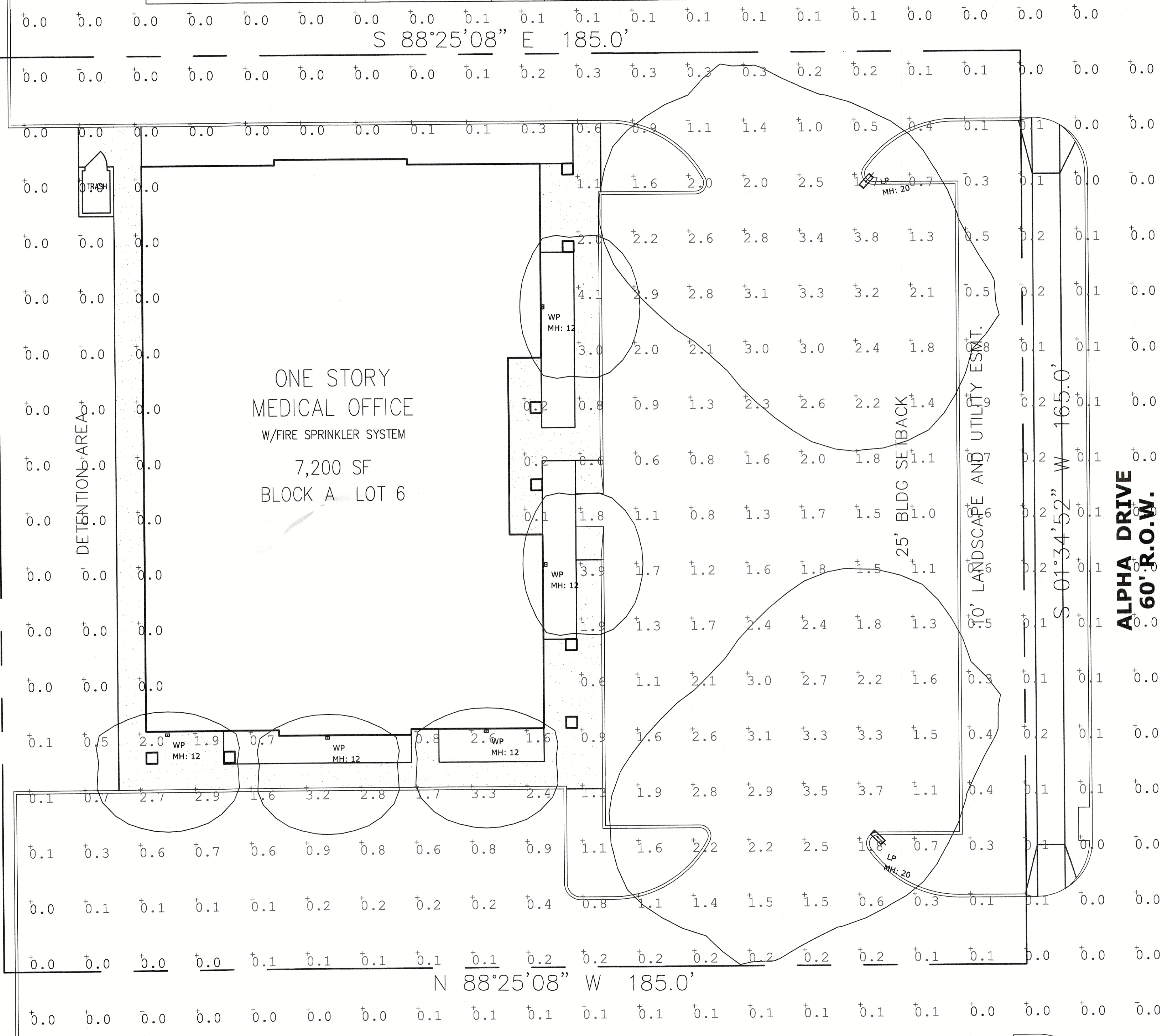
Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.29	4.1	0.0	N.A.
PARKING LOT & DRIVEWAY		Fc	1.45	3.7	0.0	N.A.

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY WALLIS ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

- ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY
- ZONING: L I
  - PROPOSED USE: MEDICAL OFFICE
  - PROPERTY AREA (GROSS): 30,531 SF 0.70 AC
  - BUILDING AREA: 7,200 SF
  - BUILDING HEIGHT: ONE STORY - 28'-3"
  - LOT COVERAGE: 23.6% F.A.R. = 0.236:1
  - PARKING REQUIRED: 1 SPACE/200 = 36 SPACES REQUIRED
  - HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED
  - TOTAL PARKING PROVIDED: 36 SPACES
  - TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 24,558 SF
  - 15% LANDSCAPE REQUIRED = 4,580 SF PROVIDED 5,973 SF

HERMAN E UTLEY  
MIDDLE SCHOOL

N 01°34'52" E 165.0'



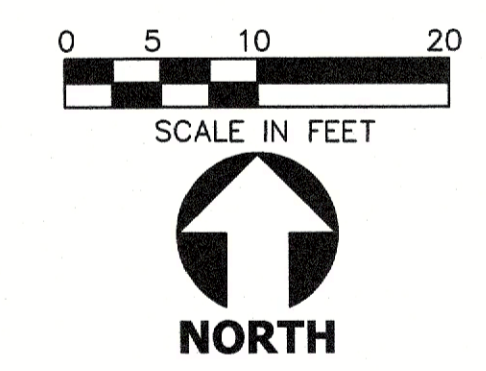
SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning and zoning commission of the City of Rockwall on the 11th day of February, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



PRICING & CONSTRUCTION  
GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ELLIS CENTRE  
INDUSTRIAL PARK  
BEING A 0.70 AC. TRACT OF LAND SITUATED  
IN THE ELLIS CENTRE #2 INDUSTRIAL PARK  
LOT 6 BLOCK A IN THE CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

OWNER  
ADAT ESTATE LLC  
485 BRIDGEMAN WAY  
ROCKWALL, TEXAS 75087  
CASE #SP2020-010

© COPYRIGHT 2022 WALLIS ARCHITECTS

CHURCHES COMMERCIAL RESIDENTIAL INSTITUTIONAL  
**WALLIS ASSOCIATES**  
132 BERKSHIRE LANE  
WAXAHACHE, TEXAS 75165  
PHONE: 817-236-9253

No.	Date	Revision	By



ELLIS CENTER MEDICAL OFFICE  
ROCKWALL, TEXAS  
**PHOTOMETRIC PLAN**

Scale: 1" = 10'-0"  
Date: 2/16/2024  
Project No.: 200204  
Designed: GW  
Drawn: GW  
Checked: GW

SHEET  
**AP1** OF  
1



# WDGE1 LED

## Architectural Wall Sconce



Catalog Number

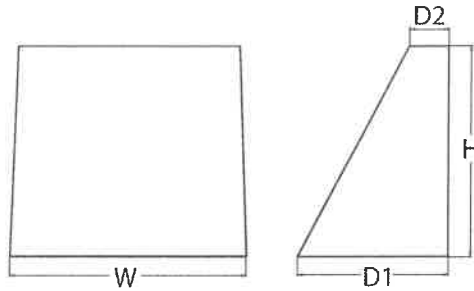
Notes

Type

Model: [blank] | Series: [blank] | Product: [blank] | Part: [blank]

### Specifications

<b>Depth (D1):</b>	5.5"
<b>Depth (D2):</b>	1.5"
<b>Height:</b>	8"
<b>Width:</b>	9"
<b>Weight:</b> (without options)	9 lbs



### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

### WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

### Ordering Information

**EXAMPLE:** WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1 P2	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT	<b>Shipped included</b> SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>5</sup>  <b>Shipped separately</b> AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry)
		30K 3000K	90CRI	VW Visual comfort wide	347 <sup>2</sup>	
		35K 3500K				
		40K 4000K				
		50K <sup>1</sup> 5000K				

Options	Finish
E4WH <sup>3</sup> Emergency battery backup, CEC compliant (4W, 0°C min)	DDBXD Dark bronze
PE <sup>4</sup> Photocell, Button Type	DBLXD Black
DS Dual switching ( comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for premium back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
	DDBTXD Textured dark bronze
	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

### Accessories

Ordered and shipped separately

WDGEAWS DDBXD U	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1PBBW DDBXD U	WDGE1 Premium surface-mounted back box (specify finish)
WSBBW DDBXD U	Surface-mounted back box (specify finish)

### NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
© 2019-2020 Acuity Brands Lighting, Inc. All rights reserved.

WDGE1 LED  
Rev. 04/15/20



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

### Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

### Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

### Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

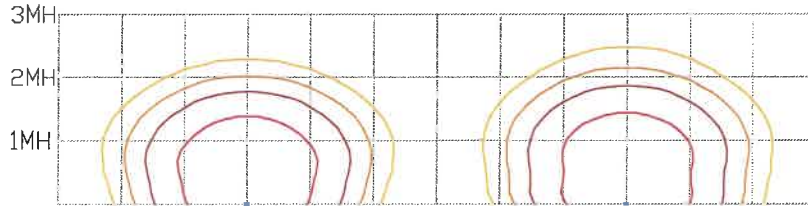
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

### LEGEND



WDGE1 LED P2 40K 80CRI VW

WDGE1 LED P2 40K 80CRI VF

MH = 8ft  
Grid = 8ft x 8ft

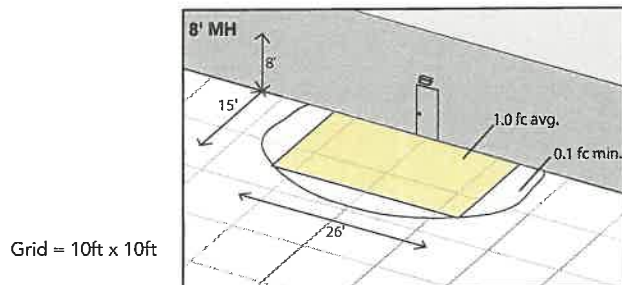
## Emergency Egress Options

### Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

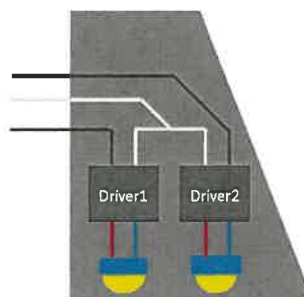


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

### Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





**E4WH – 4W Emergency Battery Backup**

D = 5.5"

H = 8"

W = 9"



**PBBW – Premium Back Box**

D = 1.75"

H = 8"

W = 9"



**BBW – Standard Back Box**

D = 1.5"

H = 4"

W = 5.5"



**AWS – 3/8inch Architectural Wall Spacer**

D = 0.38"

H = 4.4"

W = 7.5"

### FEATURES & SPECIFICATIONS

#### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

#### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

#### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

#### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

#### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

#### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

#### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



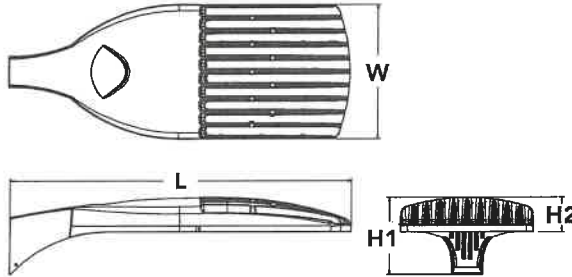
d<sup>series</sup>

# D-Series Size 1 LED Area Luminaire



## Specifications

<b>EPA:</b>	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height H1:</b>	7-1/2" (19.0 cm)
<b>Height H2:</b>	3-1/2"
<b>Weight (max):</b>	27 lbs (12.2 kg)



Catalog Number
Notes
Type

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

A+ Capable options indicated by this color background.

## Ordering Information

**EXAMPLE:** DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED						
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	<b>Forward optics</b>	30K 3000K	T1S Type I short (Automotive)	T5VS Type V very short <sup>2</sup>	MVOLT <sup>4</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting WBA Wall bracket <sup>2</sup> SPUMBA Square pole universal mounting adaptor <sup>6</sup> RPUMBA Round pole universal mounting adaptor <sup>5</sup>
	P1 P4 P7 P2 P5 P8 P3 P6 P9	40K 4000K 50K 5000K	T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	T5S Type V short <sup>2</sup> T5M Type V medium <sup>2</sup> T5W Type V wide <sup>2</sup> BLC Backlight control <sup>3</sup> LCCO Left corner cutoff <sup>3</sup> RCCO Right corner cutoff <sup>3</sup>	120 <sup>5</sup> 208 <sup>5</sup> 240 <sup>5</sup> 277 <sup>5</sup> 347 <sup>5</sup> 480 <sup>5</sup>	
	<b>Rotated optics</b>				<b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>7</sup>	
	P10 <sup>1</sup> P12 <sup>1</sup> P11 <sup>1</sup> P13 <sup>1</sup>					

Control options	Other options	Finish (featured)
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>8</sup> PIRHN Network, high/low motion/ambient sensor <sup>9</sup> PER NEMA twist-lock receptacle only (controls ordered separate) <sup>10</sup> PER5 Five-pin receptacle only (controls ordered separate) <sup>10,12</sup> PER7 Seven-pin receptacle only (controls ordered separate) <sup>10,11</sup> DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>13</sup> DS Dual switching <sup>13,14,15</sup>	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>16,17</sup> PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>16,17</sup> PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>16,17</sup> PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>16,17</sup> FAO Field adjustable output <sup>15</sup>	<b>Shipped installed</b> HS House-side shield <sup>18</sup> SF Single fuse (120, 277, 347V) <sup>5</sup> DF Double fuse (208, 240, 480V) <sup>5</sup> L90 Left rotated optics <sup>1</sup> R90 Right rotated optics <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>19</sup> EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



# Ordering Information

## Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>20</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>20</sup>
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>20</sup>
DSHORT SBK U	Shorting cap <sup>20</sup>
DSX1HS 30C U	House-side shield for P1, P2, P3, P4 and P5 <sup>18</sup>
DSX1HS 40C U	House-side shield for P6 and P7 <sup>18</sup>
DSX1HS 60C U	House-side shield for P8, P9, P10, P11 and P12 <sup>18</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>21</sup>
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>7</sup>
DSX1EGS (FINISH) U	External glare shield

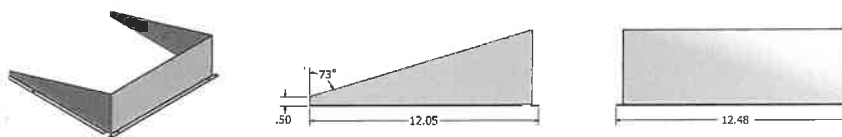
For more control options, visit [DLT](#) and [ROAM](#) online.

### NOTES

- 1 P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- 2 Any Type 5 distribution with photocell, is not available with WBA.
- 3 Not available with HS.
- 4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 5 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 6 Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31.
- 7 Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- 8 Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 9 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- 10 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- 11 If ROAM<sup>®</sup> node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- 12 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V.
- 13 Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- 14 Requires (2) separately switched circuits with isolated neutral. See Outdoor Control Technical Guide for details.
- 15 Reference Motion Sensor table on page 4.
- 16 Reference controls options table on page 4 to see functionality.
- 17 Not available with other dimming controls options
- 18 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 19 Must be ordered with fixture for factory pre-drilling.
- 20 Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- 21 For retrofit use only.

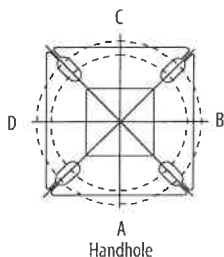
## Options

### EGS - External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



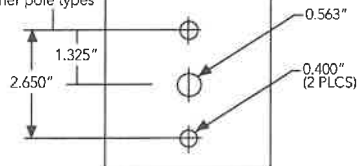
### Tenon Mounting Slipfitter\*\*

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
2-3/8"	SPA/RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
	SPUMBA	AS3-5 190	AS3-5 280	AS4-5 290	AS3-5 320	AS4-5 390	AS4-5 490
	RUPUMBA	AS3-5 190	AS3-5 280		AS3-5 320		
2-7/8"	SPA/RPA	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
	SPUMBA	AST25-190	AST25-280		AST25-320		
	RUPUMBA	AST25-190	AST25-280		AST25-320		
4"	SPA/RPA	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490
	SPUMBA	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490
	RUPUMBA	AST35-190	AST35-280		AST35-320		

Template #8

Top of Pole

1.75" for aluminum poles  
2.75" for other pole types



Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

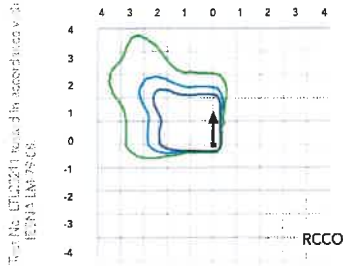
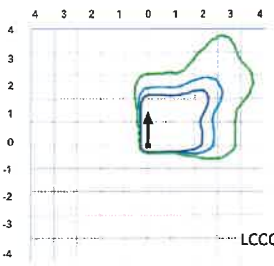
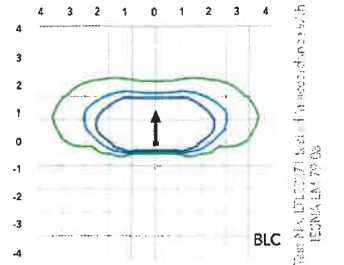
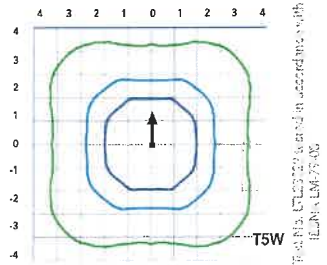
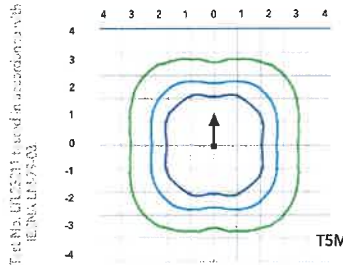
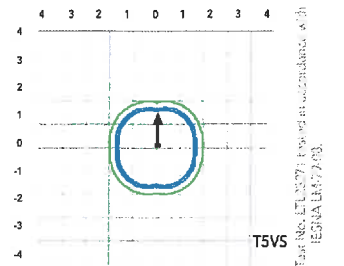
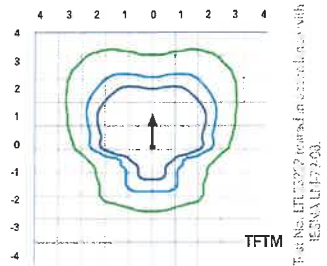
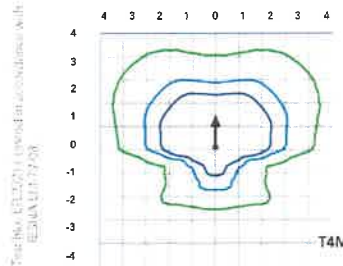
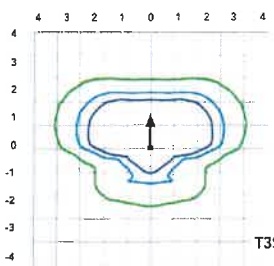
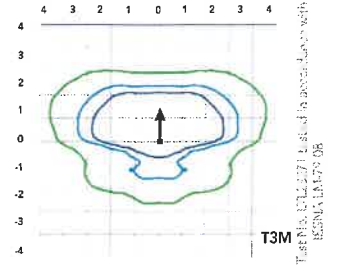
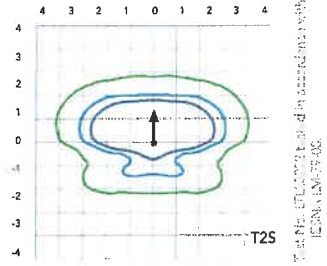
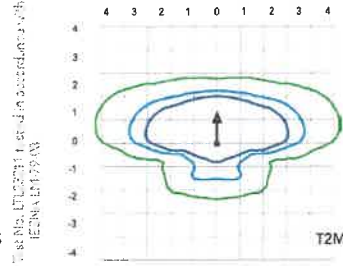
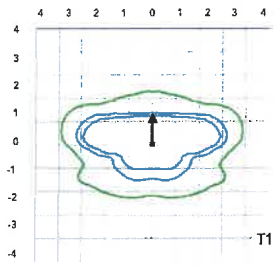
# Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

### LEGEND

- 0.1 fc
- 0.5 fc
- 1.0 fc



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.04
5°C	1.04
10°C	1.03
15°C	1.02
20°C	1.01
<b>25°C</b>	<b>1.00</b>
30°C	0.99
35°C	0.98
40°C	0.97

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

#### Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

\*for use when motion sensor is used as dusk to dawn control.

### Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

#### Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PER5 or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.





# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118				
				T2S	17,635	3	0	3	108	18,998	3	0	3	117	19,238	3	0	3	118				
				T2M	17,726	3	0	3	109	19,096	3	0	3	117	19,337	3	0	3	119				
				T3S	17,167	3	0	3	105	18,493	3	0	3	113	18,727	3	0	3	115				
				T3M	17,683	3	0	3	108	19,049	3	0	3	117	19,290	3	0	3	118				
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116				
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118				
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123				
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123				
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123				
				T5W	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122				
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97				
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72				
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72				
				40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115
								T2S	19,206	3	0	3	105	20,690	3	0	3	113	20,952	3	0	3	114
T2M	19,305	3	0					3	105	20,797	3	0	3	114	21,060	3	0	3	115				
T3S	18,696	3	0					3	102	20,141	3	0	3	110	20,396	3	0	4	111				
T3M	19,258	3	0					3	105	20,746	3	0	3	113	21,009	3	0	3	115				
T4M	18,840	3	0					4	103	20,296	3	0	4	111	20,553	3	0	4	112				
TFTM	19,246	3	0					4	105	20,734	3	0	4	113	20,996	3	0	4	115				
TSVS	20,017	4	0					1	109	21,564	4	0	1	118	21,837	4	0	1	119				
T5S	20,033	4	0					2	109	21,581	4	0	2	118	21,854	4	0	2	119				
T5M	19,983	4	0					2	109	21,527	5	0	3	118	21,799	5	0	3	119				
T5W	19,852	5	0					3	108	21,386	5	0	3	117	21,656	5	0	3	118				
BLC	15,780	2	0					3	86	16,999	2	0	3	93	17,214	2	0	3	94				
LCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70				
RCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70				
60	1050	P8	207W					T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119
								T2S	22,466	3	0	4	109	24,202	3	0	4	117	24,509	3	0	4	118
				T2M	22,582	3	0	3	109	24,327	3	0	3	118	24,635	3	0	3	119				
				T3S	21,870	3	0	4	106	23,560	3	0	4	114	23,858	3	0	4	115				
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119				
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116				
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119				
				T5VS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123				
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123				
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123				
				T5W	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122				
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97				
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72				
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72				
				60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116
								T2S	25,548	3	0	4	106	27,522	3	0	4	114	27,871	3	0	4	116
T2M	25,680	3	0					3	107	27,664	3	0	3	115	28,014	3	0	3	116				
T3S	24,870	3	0					4	103	26,791	3	0	4	111	27,130	3	0	4	113				
T3M	25,617	3	0					4	106	27,597	3	0	4	115	27,946	3	0	4	116				
T4M	25,061	3	0					4	104	26,997	3	0	4	112	27,339	3	0	4	113				
TFTM	25,602	3	0					4	106	27,580	3	0	4	114	27,929	3	0	4	116				
TSVS	26,626	5	0					1	110	28,684	5	0	1	119	29,047	5	0	1	121				
T5S	26,648	4	0					2	111	28,707	5	0	2	119	29,070	5	0	2	121				
T5M	26,581	5	0					3	110	28,635	5	0	3	119	28,997	5	0	3	120				
T5W	26,406	5	0					4	110	28,447	5	0	4	118	28,807	5	0	4	120				
BLC	20,990	2	0					3	87	22,612	2	0	3	94	22,898	2	0	3	95				
LCCO	15,619	2	0					4	65	16,825	2	0	4	70	17,038	2	0	4	71				
RCCO	15,619	2	0					4	65	16,825	2	0	4	70	17,038	2	0	4	71				

# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																							
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134				
				T2S	12,967	4	0	4	122	13,969	4	0	4	132	14,146	4	0	4	133				
				T2M	13,201	3	0	3	125	14,221	3	0	3	134	14,401	3	0	3	136				
				T3S	12,766	4	0	4	120	13,752	4	0	4	130	13,926	4	0	4	131				
				T3M	13,193	4	0	4	124	14,213	4	0	4	134	14,393	4	0	4	136				
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133				
				TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137				
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138				
				T5S	13,260	3	0	1	125	14,284	3	0	1	135	14,465	3	0	1	136				
				T5M	13,256	4	0	2	125	14,281	4	0	2	135	14,462	4	0	2	136				
				TSW	13,137	4	0	3	124	14,153	4	0	3	134	14,332	4	0	3	135				
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112				
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80				
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80				
				60	700	P11	137W	T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132
								T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131
T2M	16,758	4	0					4	122	18,053	4	0	4	132	18,281	4	0	4	133				
T3S	16,205	4	0					4	118	17,457	4	0	4	127	17,678	4	0	4	129				
T3M	16,748	4	0					4	122	18,042	4	0	4	132	18,271	4	0	4	133				
T4M	16,432	4	0					4	120	17,702	4	0	4	129	17,926	4	0	4	131				
TFTM	16,857	4	0					4	123	18,159	4	0	4	133	18,389	4	0	4	134				
TSVS	16,975	4	0					1	124	18,287	4	0	1	133	18,518	4	0	1	135				
T5S	16,832	4	0					1	123	18,133	4	0	2	132	18,362	4	0	2	134				
T5M	16,828	4	0					2	123	18,128	4	0	2	132	18,358	4	0	2	134				
TSW	16,677	4	0					3	122	17,966	5	0	3	131	18,193	5	0	3	133				
BLC	13,845	3	0					3	101	14,915	3	0	3	109	15,103	3	0	3	110				
LCCO	9,888	1	0					3	72	10,652	2	0	3	78	10,787	2	0	3	79				
RCCO	9,875	4	0					4	72	10,638	4	0	4	78	10,773	4	0	4	79				
60	1050	P12	207W					T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121
								T2S	22,864	4	0	4	110	24,631	5	0	5	119	24,943	5	0	5	120
				T2M	23,277	4	0	4	112	25,075	4	0	4	121	25,393	4	0	4	123				
				T3S	22,509	4	0	4	109	24,248	5	0	5	117	24,555	5	0	5	119				
				T3M	23,263	4	0	4	112	25,061	4	0	4	121	25,378	4	0	4	123				
				T4M	22,824	5	0	5	110	24,588	5	0	5	119	24,899	5	0	5	120				
				TFTM	23,414	5	0	5	113	25,223	5	0	5	122	25,543	5	0	5	123				
				TSVS	23,579	5	0	1	114	25,401	5	0	1	123	25,722	5	0	1	124				
				T5S	23,380	4	0	2	113	25,187	4	0	2	122	25,506	4	0	2	123				
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123				
				TSW	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122				
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101				
				LCCO	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72				
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72				
				60	1250	P13	231W	T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120
								T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119
T2M	25,710	4	0					4	111	27,696	4	0	4	120	28,047	4	0	4	121				
T3S	24,862	5	0					5	108	26,783	5	0	5	116	27,122	5	0	5	117				
T3M	25,695	5	0					5	111	27,680	5	0	5	120	28,031	5	0	5	121				
T4M	25,210	5	0					5	109	27,158	5	0	5	118	27,502	5	0	5	119				
TFTM	25,861	5	0					5	112	27,860	5	0	5	121	28,212	5	0	5	122				
TSVS	26,043	5	0					1	113	28,056	5	0	1	121	28,411	5	0	1	123				
T5S	25,824	4	0					2	112	27,819	5	0	2	120	28,172	5	0	2	122				
T5M	25,818	5	0					3	112	27,813	5	0	3	120	28,165	5	0	3	122				
TSW	25,586	5	0					4	111	27,563	5	0	4	119	27,912	5	0	4	121				
BLC	21,241	4	0					4	92	22,882	4	0	4	99	23,172	4	0	4	100				
LCCO	15,170	2	0					4	66	16,342	2	0	4	71	16,549	2	0	4	72				
RCCO	15,150	5	0					5	66	16,321	5	0	5	71	16,527	5	0	5	72				

## A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability<sup>1</sup>
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

## FEATURES & SPECIFICATIONS

### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft<sup>3</sup>) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

### nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). NEMA photocontrol receptacle are also available.

### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product.

Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

